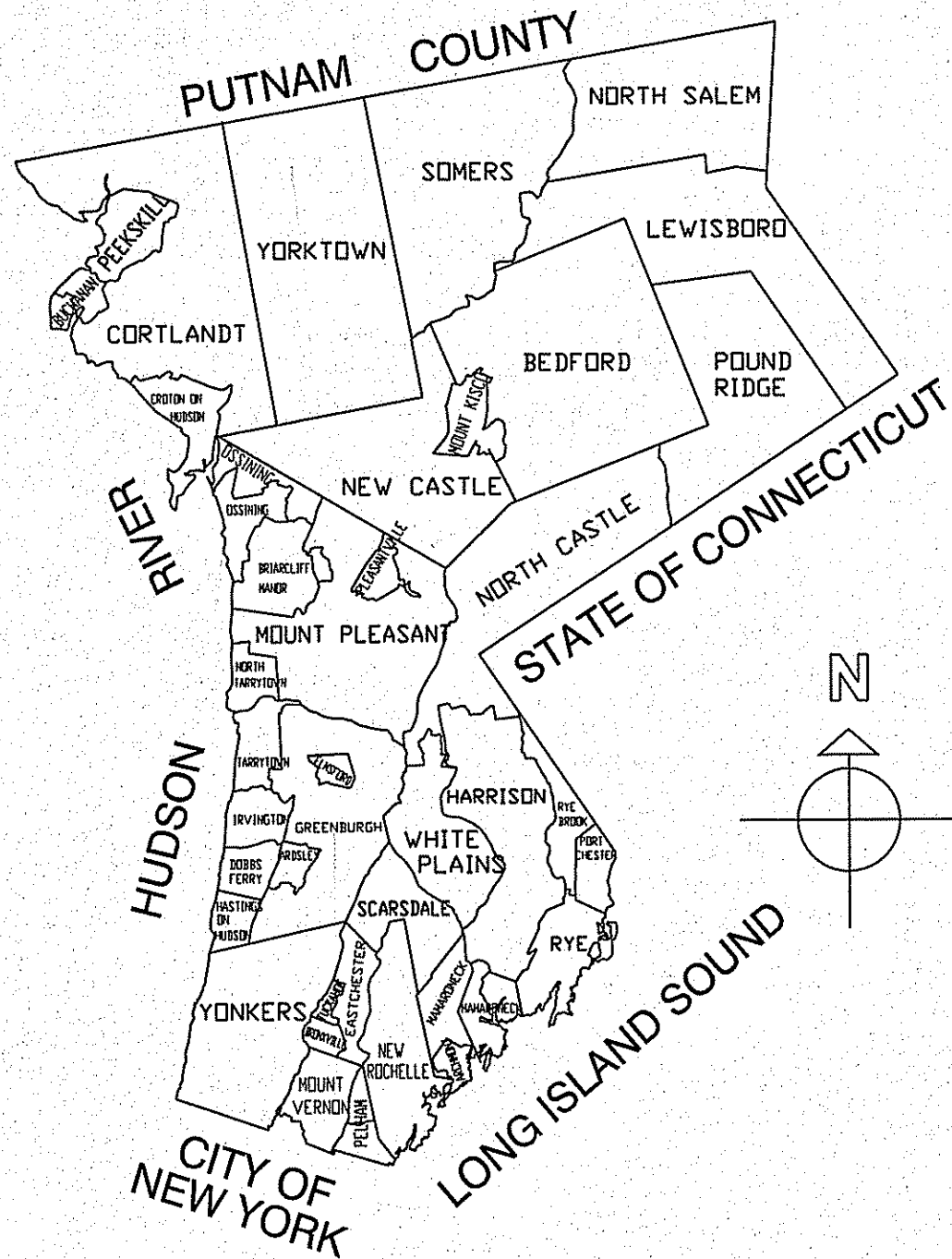


2.5 EOC 6 Photos of Capital/Strategic Project at Merestead, Mount Kisco, 2020





WESTCHESTER COUNTY

PRIME & SUB-CONTRACTOR QUALIFICATIONS

PRIME CONTRACTORS AND THEIR RESTORATION SPECIALIST SUB-CONTRACTOR WISHING TO BID ON THIS CONTRACT SHALL EACH HAVE A MINIMUM OF 5 YEARS SUCCESSFUL EXPERIENCE IN HISTORIC MASONRY RESTORATION AND BUILDING ENVELOPE STABILIZATION FOR BUILDINGS CONSTRUCTED IN THE USA BETWEEN 1906 AND 1930. BOTH PRIME AND THEIR SUB-CONTRACTOR SHALL PROVIDE DOCUMENTATION WITH REFERENCES FOR COMPLETED WORK SIMILAR IN MATERIAL, DESIGN, AND EXTENT TO THAT INDICATED FOR THIS PROJECT WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE. **SUCH REQUIRED WRITTEN DOCUMENTATION SHALL BE SUBMITTED TO THE COUNTY AS PART OF THE BID.** EXPERIENCE INSTALLING STANDARD UNIT MASONRY IS NOT SUFFICIENT FOR MASONRY RESTORATION WORK FOR THIS PROJECT.

REQUIRED TREATMENT OF HISTORIC PROPERTIES

THE MERESTAD MANSION IS LISTED IN THE NATIONAL REGISTER OF HISTORIC PLACES. THE PROJECT'S CONSTRUCTION DOCUMENTS HAVE BEEN DEVELOPED IN COMPLIANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES. ANY DEVIATION FROM THE PROJECT'S CONSTRUCTION DOCUMENTS OR SPECIFICATIONS MUST BE REVIEWED BY THE COUNTY TO VERIFY THE PROJECT'S CONTINUED COMPLIANCE WITH THE STANDARD.

GENERAL SCOPE OF WORK NOT LIMITED TO:

EXTERIOR WORK ONLY:

- BRICK CLEANING, BRICK POINTING, SELECTIVE BRICK REPLACEMENT TO MATCH.
- WOOD RESTORATION: DOORS, WINDOWS, SHUTTERS, GATES, COLUMNS, SOFFITS.
- REPLACEMENT/RESTORATION OF N & S BALCONY PERIMETER BALUSTRADES.
- RESTORATION OF MAIN HOUSE SLATE ROOF & ROOF REPLACEMENT AT OTHER ROOFS AS NOTED ON CONTRACT DOCUMENTS.
- RECONSTRUCTION OF WINDOW WELLS & EXT STAIR TO BASEMENT w/ NEW DRAINS CONNECTED TO PERIMETER DRAINAGE (REQUIRING CAREFUL EXCAVATION)
- REPLACEMENT OF RED CLAY TILE FLOORS AT N & S PORCHES.
- REPLACEMENT OF DOWNSPOUTS.
- RESTORATION OF HARDWARE ON DOORS & WINDOWS.

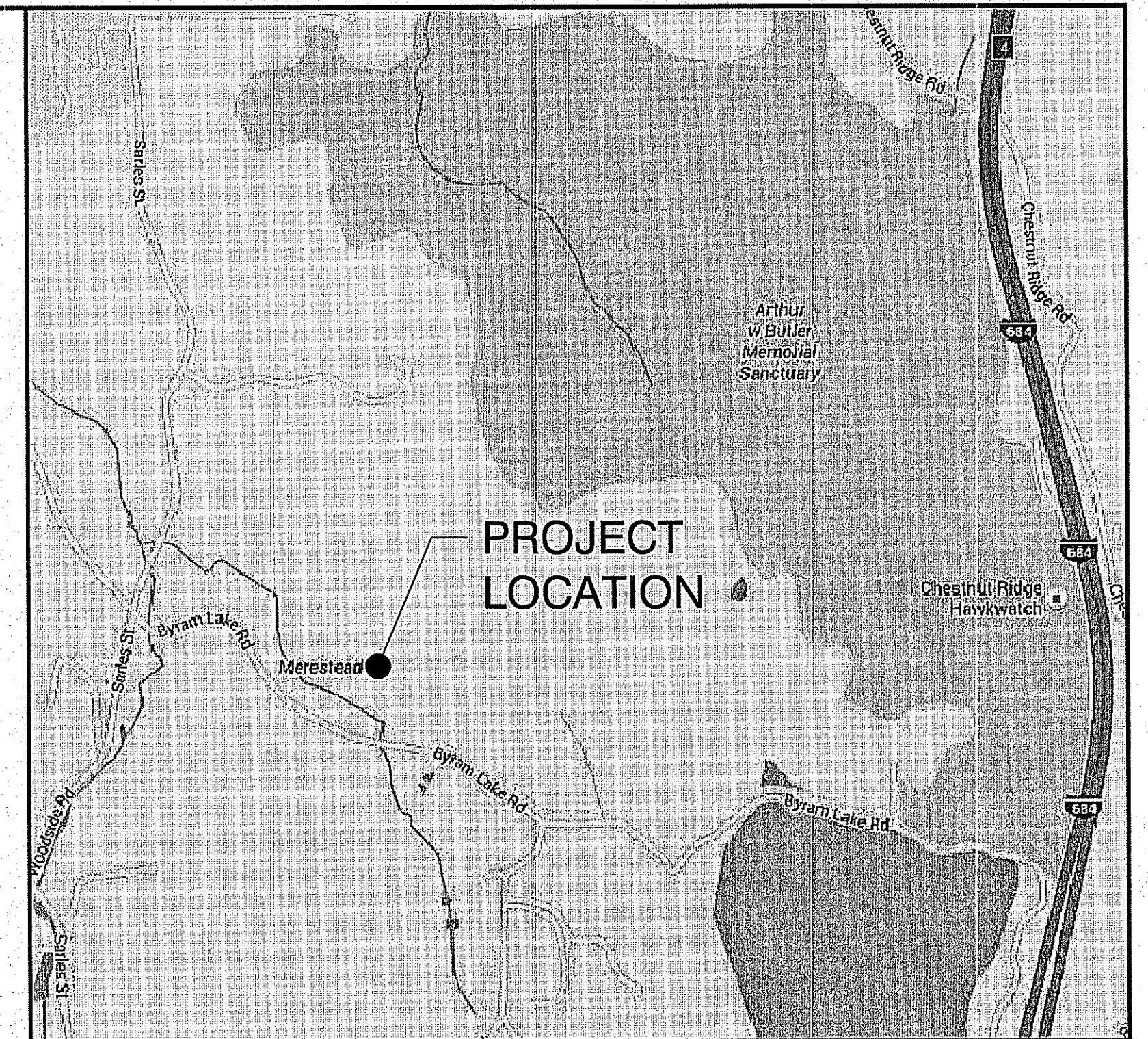
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LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY NEW CONTRACTED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT, IS A VIOLATION OF TITLE 16, SECTION 16-15 (b) OF NEW YORK STATE LAW.

IN CHARGE OF _____
CHECKED BY _____
MADE BY _____



WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING CONTRACT No. 15-556 MAIN HOUSE REHABILITATION MERESTAD BEDFORD AND NEW CASTLE, NEW YORK



LOCATION MAP
SCALE: N.T.S.

SHEET NO.	SHEET TITLE	DPW FILE NO.
G001	TITLE SHEET	92-01-T-28-0
CIVIL / SITE		
C502	DRAINAGE PLAN	92-01-C-29-0
C905	NOTES & SITE DETAILS	92-01-C-30-0
ARCHITECTURAL / HISTORICAL PRESERVATION		
G0.01	GENERAL NOTES & LEGEND	92-01-G-31-0
G1.01	CODE COMPLIANCE INFORMATION	92-01-G-32-0
AD1.01	BASEMENT DEMO PLAN	92-01-A-33-0
AD1.02	FIRST FLOOR DEMO PLAN	92-01-A-34-0
AD1.03	SECOND & THIRD FLOOR DEMO PLANS	92-01-A-35-0
AD1.04	ROOF DEMO PLAN	92-01-A-36-0
AD2.01	EAST & WEST EXTERIOR DEMO ELEVATIONS	92-01-A-37-0
AD2.02	NORTH & SOUTH EXTERIOR DEMO ELEVATIONS	92-01-A-38-0
AD4.01	DETAIL DEMO PLANS	92-01-A-39-0
AD5.01	DEMO DETAILS	92-01-A-40-0
AD5.02	DEMO DETAILS & REF. PHOTOS	92-01-A-41-0
A1.01	BASEMENT FLOOR PLAN	92-01-A-42-0
A1.02	FIRST FLOOR PLAN	92-01-A-43-0
A1.03	SECOND FLOOR PLAN	92-01-A-44-0
A1.04	THIRD FLOOR PLAN	92-01-A-45-0
A1.05	ROOF PLAN	92-01-A-46-0
A1.06	FIRST FLOOR RCP	92-01-A-47-0
A2.01	EAST & WEST EXTERIOR ELEVATIONS	92-01-A-48-0
A2.02	NORTH & SOUTH EXTERIOR ELEVATIONS	92-01-A-49-0
A4.01	PORCH & STAIRWELL & BALCONY PLANS	92-01-A-50-0
A5.01	DETAILS & SECTIONS	92-01-A-51-0
A5.02	BALUSTRADE & RAILING DETAILS	92-01-A-52-0
A5.03	ROOF DETAILS	92-01-A-53-0
A5.04	ROOF DETAILS	92-01-A-54-0
A5.05	ROOF DETAILS	92-01-A-55-0
A6.01	WINDOW SCHEDULE	92-01-A-56-0
A6.02	DOOR & LIGHT FIXTURE SCHEDULE	92-01-A-57-0

SITE/CIVIL ENGINEER AKRF, INC

34 South Broadway, Suite 401
White Plains, NY 10601
phone: 914.922.2394 fax: 914.949.7559

HISTORIC PRESERVATION Harboe Architects, PC

140 South Dearborn Suite 306
Chicago, IL 60603
phone: 312.977.0333 fax: 312.977.0334



ARCHITECT KG+D Architects, PC

Kaeyer, Garment & Davidson Architects PC
285 Main Street, Mount Kisco, NY 10549
phone: 914.666.5900 fax: 914.666.0051

REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION
1	06/07/19	RC	EK	ISSUED FOR BID

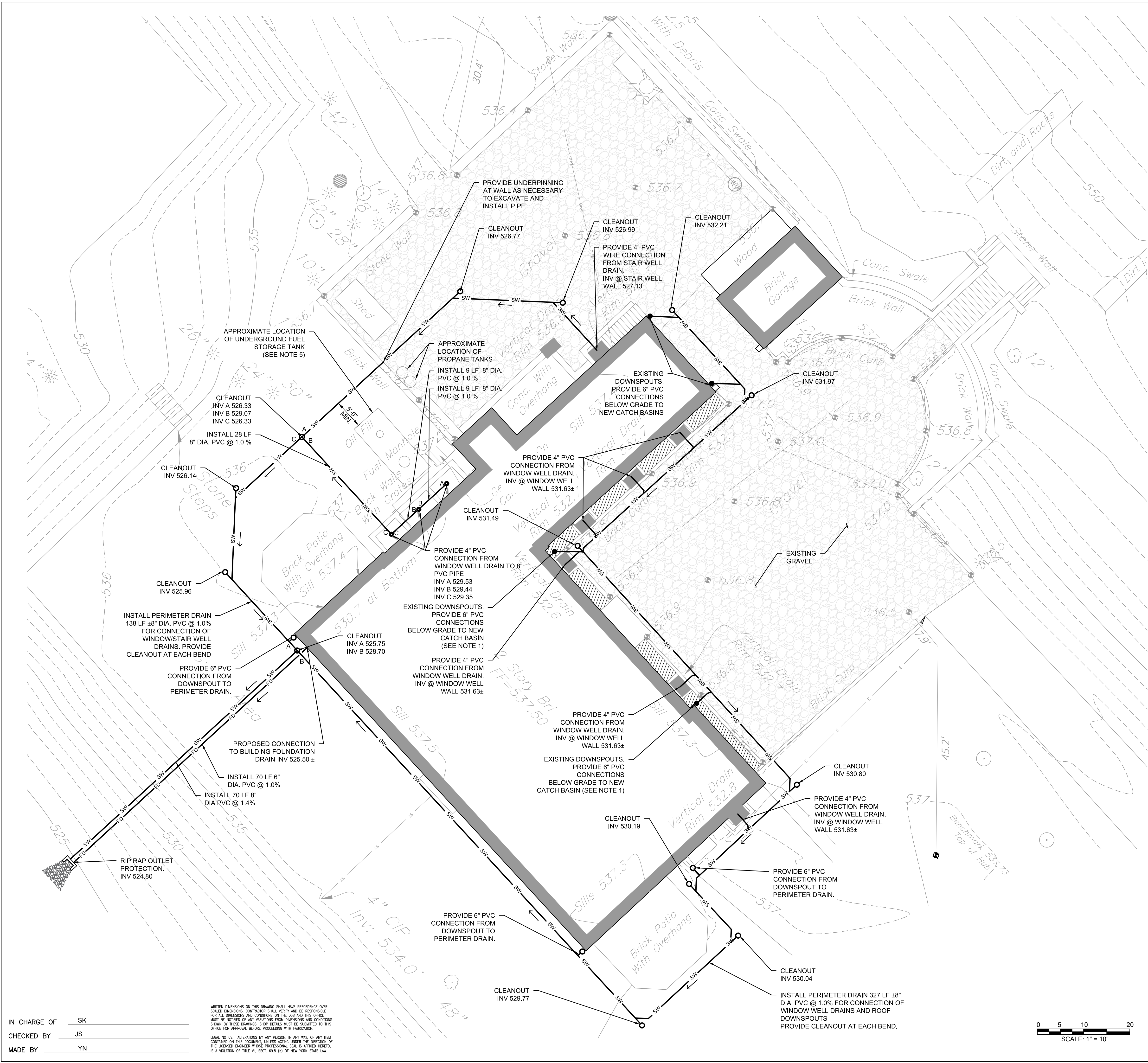
RECORD DRAWING CERTIFICATION

☐ AS BUILT - CHANGES AS NOTED
☐ AS BUILT - NO CHANGES

CONTRACTOR	PROJECT COORDINATOR
NAME SIGNATURE TITLE	NAME SIGNATURE TITLE

WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING MAIN HOUSE REHABILITATION - MERESTAD BEDFORD AND NEW CASTLE, NEW YORK TITLE SHEET	CONTRACT NUMBER 15-556 SHEET NO. 1 OF 30 SCALE: AS SHOWN DATE: 06/07/19 DPW FILE NO. 92-01-T-28-0 REV. NO. 0
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ANTHONY J. FERRANTELO, R.A., NCARB ASSOCIATE ARCHITECT DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION	JOSEPH J. NICOLETTI, JR., P.E. FIRST DEPUTY COMMISSIONER DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION	KATHLEEN O'CONNOR COMMISSIONER DEPARTMENT OF PARKS, RECREATION AND CONSERVATION	HUGH J. GREECHAN, JR., P.E. COMMISSIONER DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION
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- NOTES:**
1. REMOVE AND RESET BRICK BORDER AS NECESSARY TO EXCAVATE AND INSTALL PIPE.
 2. CONTRACTOR TO PROVIDE ALL FITTINGS NECESSARY TO CONSTRUCT PERIMETER DRAIN AND ASSOCIATED CLEANOUTS AND WINDOW WELL / STAIR WELL / DOWNSPOUT DRAINAGE CONNECTIONS.
 3. REFER TO ARCHITECTURAL PLANS FOR WINDOW/STAIR WELL DRAW AND WALL PENETRATION DETAILS.
 4. GRAVEL LOT TO BE RESTORED FOLLOWING INSTALLATION OF ROOF/FOOTING DRAINS.
 5. LOCATION OF TANK IS APPROXIMATE. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5-FEET FROM EXISTING UNDERGROUND FUEL STORAGE TANK. CONTRACTOR SHALL DIG TEST PITS TO VERIFY LIMITS OF UNDERGROUND STORAGE TANK PRIOR TO INSTALLATION OF ANY DRAINAGE IMPROVEMENTS.
 6. CONTRACTOR SHALL PROVIDE SHEETING, SHORING AND BRACING FOR INSTALLATION OF ALL DRAINAGE IMPROVEMENTS. SHRUBS WITHIN LIMITS OF NEW DRAINAGE PIPE SHALL BE REMOVED. SURFACE SHALL BE RESTORED IN KIND.
 7. CONTRACTOR SHALL PROVIDE DEWATERING AS NECESSARY TO INSTALL DRAINAGE IMPROVEMENTS. DISCHARGE OF TURBID WATER SHALL NOT BE PERMITTED.
 8. IF TREE ROOTS ARE ENCOUNTERED DURING EXCAVATIONS, CONTRACTOR SHALL NOTIFY COUNTY REPRESENTATIVE IMMEDIATELY. NO ROOTS SHALL BE CUT WITHOUT WRITTEN AUTHORIZATION FROM WESTCHESTER COUNTY.

LEGEND

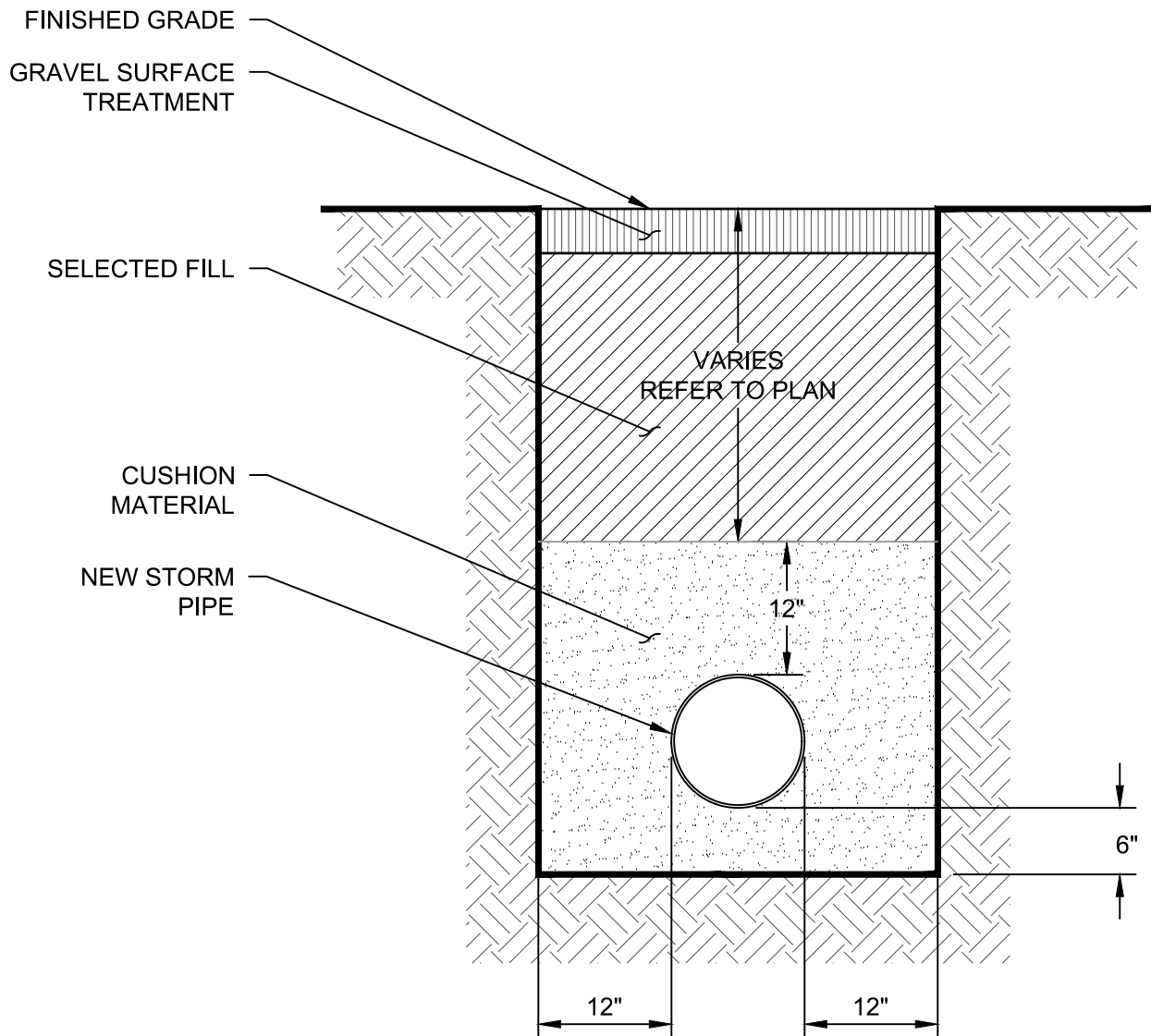
- EXIST. WETLAND
- EXIST. STREAM
- EXIST. MAJOR CONTOUR
- EXIST. MINOR CONTOUR
- EXIST. STONE WALL
- EXIST. SHRUB/TREE LOCATED BY SURVEY
- EXIST. CATCH BASIN
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- MERESTEAD DRIVEWAY CENTERLINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED STORMWATER PIPE
- PROPOSED CONCRETE CATCH BASIN
- PROPOSED 24" Ø PVC DRAIN BASIN W/ DOME GRATE

IN CHARGE OF SK
CHECKED BY JS
MADE BY YN

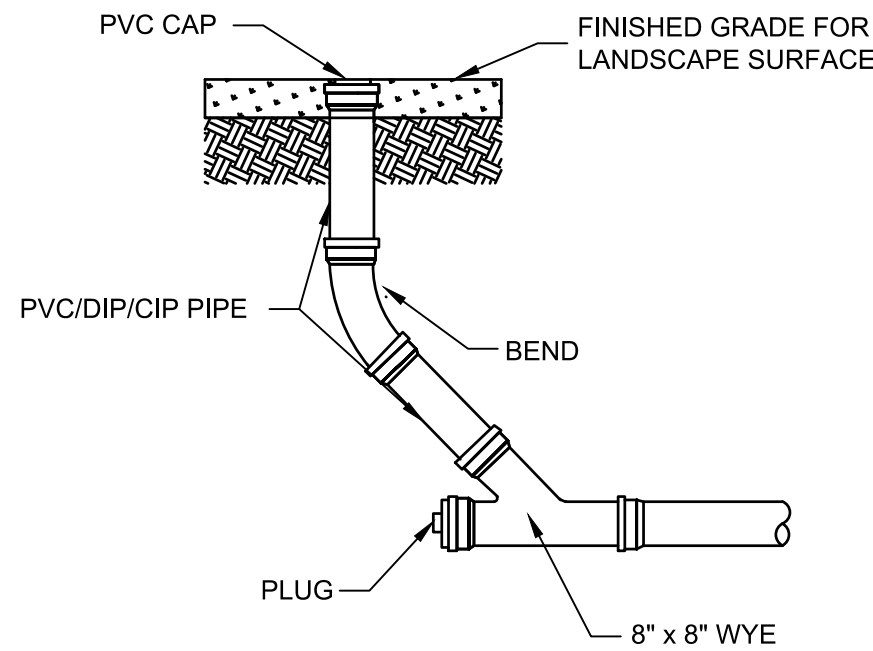
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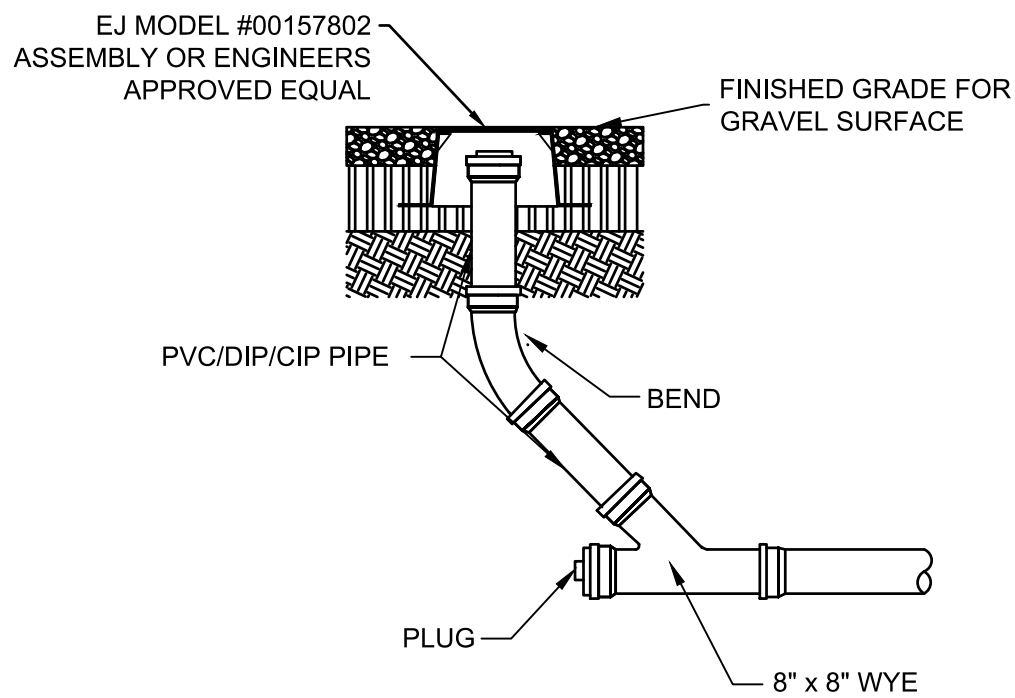
kaeyer, garment & davidson architects, pc 285 main street mount kisco, new york 10549 p: 914.666.5900 f: 914.666.0051 kgdarchitects.com				AKRF, INC. 34 SOUTH BROADWAY #401 WHITE PLAINS, NY 10601 (914) 949-7336 (PHONE)	
1	6/7/19	JS	SK	ISSUED FOR BID	
REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION	
RECORD DRAWING CERTIFICATION					
<input type="checkbox"/> AS BUILT - CHANGES AS NOTED <input type="checkbox"/> AS BUILT - NO CHANGES					
CONTRACTOR			PROJECT COORDINATOR		
NAME _____ SIGNATURE _____ TITLE _____ DATE _____			NAME _____ SIGNATURE _____ TITLE _____ DATE _____		
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING				CONTRACT NUMBER 15-556	SHEET NUMBER C502
				SHEET NO. 2 OF 30	
MAIN HOUSE REHABILITATION MERESTEAD, BEDFORD AND NEW CASTLE, NEW YORK				SCALE: 1" = 10' DATE: 06/07/2019 DPW FILE NO. 92-01-C-29-0 REV. NO. 0	
DRAINAGE PLAN					



STORMWATER PIPE TRENCH DETAIL
SCALE: N.T.S.



TYPICAL CLEANOUT DETAIL (LANDSCAPED AREAS)
SCALE: N.T.S.



TYPICAL CLEANOUT DETAIL (GRAVEL / H-20 LOADING)
SCALE: N.T.S.

GENERAL NOTES

- THESE DOCUMENTS HAVE BEEN PREPARED BASED ON A TOPOGRAPHIC SURVEY ENTITLED "TOPOGRAPHY OF A PORTION OF MERESTEAD ESTATE PREPARED FOR THE COUNTY OF WESTCHESTER" PREPARED BY TEC LAND SURVEYING, INC. DATED SEPTEMBER 6, 2017 LAST REVISED OCTOBER 23, 2017. ACTUAL FIELD CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL EXAMINE AND VERIFY IN THE FIELD ALL EXISTING AND GIVEN CONDITIONS AND DIMENSIONS WITH THOSE SHOWN ON THE PLANS. IF FIELD CONDITIONS AND DIMENSIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL USE THE FIELD CONDITIONS AND DIMENSIONS AND MAKE THE APPROPRIATE CHANGES TO THOSE SHOWN ON THE PLANS AND MUST BE SUBMITTED BY THE ENGINEER OF RECORD TO WESTCHESTER COUNTY FOR APPROVAL PRIOR TO PROCEEDING WITH THE WORK.
- IT WILL BE THE CONTRACTORS OBLIGATION AND RESPONSIBILITY TO USE METHODS AND EQUIPMENT WHICH WILL ENSURE THE SATISFACTORY COMPLETION OF THE REQUIRED WORK WITHIN THE CONTRACT DURATION.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ALL DAMAGES CAUSED BY HIS OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR WITHOUT COST TO THE OWNER AND TO THE SATISFACTION OF THE ENGINEER.
- THE EXISTING UTILITIES SHOWN ON THE SURVEY WERE TAKEN FROM THE BEST AVAILABLE INFORMATION AND ARE NOT GUARANTEED TO BE ACCURATE. FIELD CONDITIONS MAY VARY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE LOCAL UTILITY COMPANIES THAT HAVE SUBSURFACE INSTALLATIONS IN THE AREA OF WORK FOR THIS CONTRACT AND DIRECT THEM TO HAVE THEIR FACILITIES MARKED OUT PRIOR TO COMMENCING WORK.
- SITE EXCAVATION: ALL EXCAVATED SOIL SHALL BE STOCKPILED IN CONFORMANCE WITH THE EROSION AND SEDIMENT CONTROL DETAILS. ALL NYSDEC AND USEPA REGULATIONS FOR REMOVAL OF CONTROLLED FILL SHALL BE ADHERED TO. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL EXCESS SOIL. THE CONTRACTOR IS REQUIRED TO FOLLOW ALL CONCLUSIONS AND RECOMMENDATIONS IN THE PHASE II ENVIRONMENTAL SITE INVESTIGATION REGARDING SOIL STOCKPILING AND TRANSPORT OF SOIL AND OTHER EXCAVATED MATERIALS OFF-SITE.
- CONTRACTOR TO INSTALL TEMPORARY SITE CONSTRUCTION FENCE AROUND PERIMETER OF WORK AREA PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO BUILDING WALLS, TO REMAIN IN PLACE. ALL UNSUITABLE MATERIAL, CONSTRUCTION DEBRIS, ETC. SHALL BE PROPERLY REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES AND LAWS.
- ALL EXISTING TREES AND VEGETATION TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR. ANY DAMAGED TREES AND/OR VEGETATION SHALL BE REPLACED IN KIND AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THE SAFETY OF HIS EMPLOYEES AND GENERAL PUBLIC, STRUCTURAL/SITE FEATURES TO REMAIN, ADJACENT PROPERTIES & PUBLIC RIGHT-OF-WAY'S DURING ALL CONSTRUCTION AND REMOVAL ACTIVITIES IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES AND REGULATIONS. THE OWNER AND PROJECT ENGINEER ASSUME NO RESPONSIBILITIES FOR THE CONTRACTOR'S SAFETY PROGRAM AND PROCEDURES IN CONNECTION WITH THE WORK.
- IF THERE ARE ANY DISCREPANCIES BETWEEN THE CONTRACT PLANS AND THE PROJECT SPECIFICATIONS, THE CONTRACTOR IS RESPONSIBLE TO GAIN CLARIFICATION FROM THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH PRICING OR PROCEEDING WITH THE WORK.
- IN PERFORMING THE SHEETING OF A TRENCH FOR EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF THE NEW YORK STATE LABOR LAW AND PARTICULARLY WITH RULE NUMBER 23 (AS AMENDED) OF THE INDUSTRIAL CODE AS PROMULGATED BY THE BOARD OF STANDARDS AND APPEALS, LISTED IN FEDERAL REGISTER / VOLUME 54, NUMBER 209 / TUESDAY, OCTOBER 31, 1989, [DOCKET NUMBER S-204] RIN 1218 AA 36.
- THE CONTRACTOR IS ADVISED THAT ADDITIONAL NOTES SHALL BE FOUND ON SUBSEQUENT SHEETS OF THE CONTRACT PLANS AND SUCH NOTES, WHILE PERTAINING TO THE SPECIFIC DRAWINGS THEY ARE PLACED ON, ALSO SUPPLEMENT THE GENERAL NOTES LISTED HEREIN.
- THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT CATCH BASINS FROM FILLING WITH SEDIMENT AND/OR DEBRIS WITHIN THE CONTRACT LIMITS DURING THE CONTRACT OPERATIONS. IN THE EVENT THE CONTRACTOR'S OPERATION DAMAGES OR BLOCKS THE DRAINAGE SYSTEM, THE CONTRACTOR SHALL AT HIS/HER EXPENSE IMMEDIATELY REPAIR OR RESTORE THE DRAINAGE SYSTEM AS DIRECTED BY THE PROJECT ENGINEER.
- THE CONTRACTOR SHALL PRESERVE ALL NATURAL SITE FEATURES. AS LITTLE VEGETATIVE COVER SHALL BE REMOVED AS NECESSARY. ANY DISTURBED AREA SHALL BE IMMEDIATELY STABILIZED BY ROLLED EROSION CONTROL PRODUCT OR OTHER NYSDEC ACCEPTED METHODS. SEDIMENTATION AND EROSION CONTROL MEASURES EMPLOYING BEST MANAGEMENT PRACTICES ARE TO BE IMPLEMENTED IN ACCORDANCE WITH NYSDEC BOOKLET "REDUCING THE IMPACTS OF STORMWATER RUNOFF FROM NEW DEVELOPMENT" (SEPTEMBER 2001 OR MORE RECENT VERSION), NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (AUGUST 2005), AND NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL (JANUARY 2015) TO ENSURE THAT ALL DISTURBED AREAS ARE STABILIZED AND REVEGETATED.
- NO WORK SHALL OCCUR WITHIN THE LIMITS OF DELINEATED WETLANDS.

CONSTRUCTION NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS AND APPROVALS PRIOR TO COMMENCING WORK.
- PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL COORDINATE AND ATTEND A PRECONSTRUCTION MEETING WITH THE COUNTY AND AKRF.
- CONTRACTOR SHALL EXAMINE AND FIELD VERIFY ALL EXISTING AND GIVEN DIMENSIONS AND CONDITIONS WITH THOSE SHOWN ON THE PLANS. IN CASE OF ANY DISCREPANCY, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT, AND MATERIALS AS REQUIRED FOR THE IMPROVEMENT WORK SHOWN WITHIN THE

PROJECT AREA.

- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL PRODUCTS (I.E. PIPES, STRUCTURES, ETC.) INCLUDING MATERIAL SPECIFICATIONS FOR ROCK, FILL MATERIAL, EROSION CONTROL MAT, SILT FENCE, AND PAVEMENT SECTION. ALL SITE-RELATED SHOP DRAWINGS SUBMITTED TO THE ENGINEER SHALL BEAR THE APPROVAL STAMP OF GENERAL CONTRACTOR.
- THE TOP ELEVATION OF ALL EXISTING HANDHOLES, MANHOLES, CATCH BASINS, VALVE BOXES, AND CAPS COVERS LOCATED WITHIN THE CONSTRUCTION AREA SHALL BE RESET AND BE MADE FLUSH WITH THE PROPOSED GRADE.
- WHERE MANUFACTURER'S NAMES AND PRODUCT NUMBERS ARE INDICATED ON DRAWINGS, IT SHALL BE CONSTRUED TO MEAN THE ESTABLISHMENT OF QUALITY AND PERFORMANCE STANDARDS OF SUCH ITEMS. ALL OTHER PRODUCTS MUST BE SUBMITTED TO THE ENGINEER FOR APPROVAL BEFORE THEY SHALL BE DEEMED EQUAL.
- UNSUITABLE MATERIAL, CONSTRUCTION DEBRIS, ETC. SHALL BE PROPERLY REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES, AND LAWS.
- ALL EXCAVATION SHALL BE PROPERLY BACKFILLED WITH CLEAN FILL AND COMPACTED TO MINIMUM 90% PROCTOR (IN LANDSCAPED AREAS) AND MINIMUM 95% PROCTOR (IN PAVED AREAS) AS PER ASTM D-1557. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION TESTING AND SHALL SUBMIT SUCH REPORT AND VERIFICATION TO PROJECT ENGINEER.
- HIGH DENSITY POLYETHYLENE (HDPE) PIPE SHALL BE HANCOR (BLUE SEAL) AND FITTINGS SHALL HAVE SMOOTHED INTERIOR AND CORRUGATED EXTERIOR. THE BELL-AND-SPIGOT HDPE PIPING NETWORK SHALL BE JOINED USING WATERTIGHT CONNECTIONS IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D3212. ELASTOMERIC SEALS (GASKETS) MADE OF POLYISOPRENE AND MEETING THE REQUIREMENTS OF ASTM F477 SHALL SHOW NO VISIBLE LEAKS WHEN TESTED UNDER A 10 FT. HYDROSTATIC WATER TEST. PROVIDE THOSE BY HANCOR CO. OR OTHER MANUFACTURER THAT CAN PROVIDE WATERTIGHT JOINTS.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS AND MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS, NOR FOR ANY CONFLICTS AND/OR REVISIONS WHICH RESULT FROM THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING METHODS AND MEANS OF COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFY THE PROJECT ENGINEER WHEN A CONFLICT IS IDENTIFIED.
- CONTRACTOR IS RESPONSIBLE FOR ANY REQUIRED SHEETING/SHORING/BRACING DESIGN AND INSTALLATION AS REQUIRED TO PERFORM THE WORK.
- CONTRACTOR IS RESPONSIBLE FOR GROUNDWATER DEWATERING, WITHDRAWAL AND TREATMENT DESIGN, PERMITTING, INSTALLATION AND MAINTENANCE AS REQUIRED TO PERFORM THE WORK.

SUPPLEMENTAL INFORMATION PROVIDED TO BIDDER

CONTRACTOR SHALL REFER TO THE FOLLOWING DOCUMENTS:

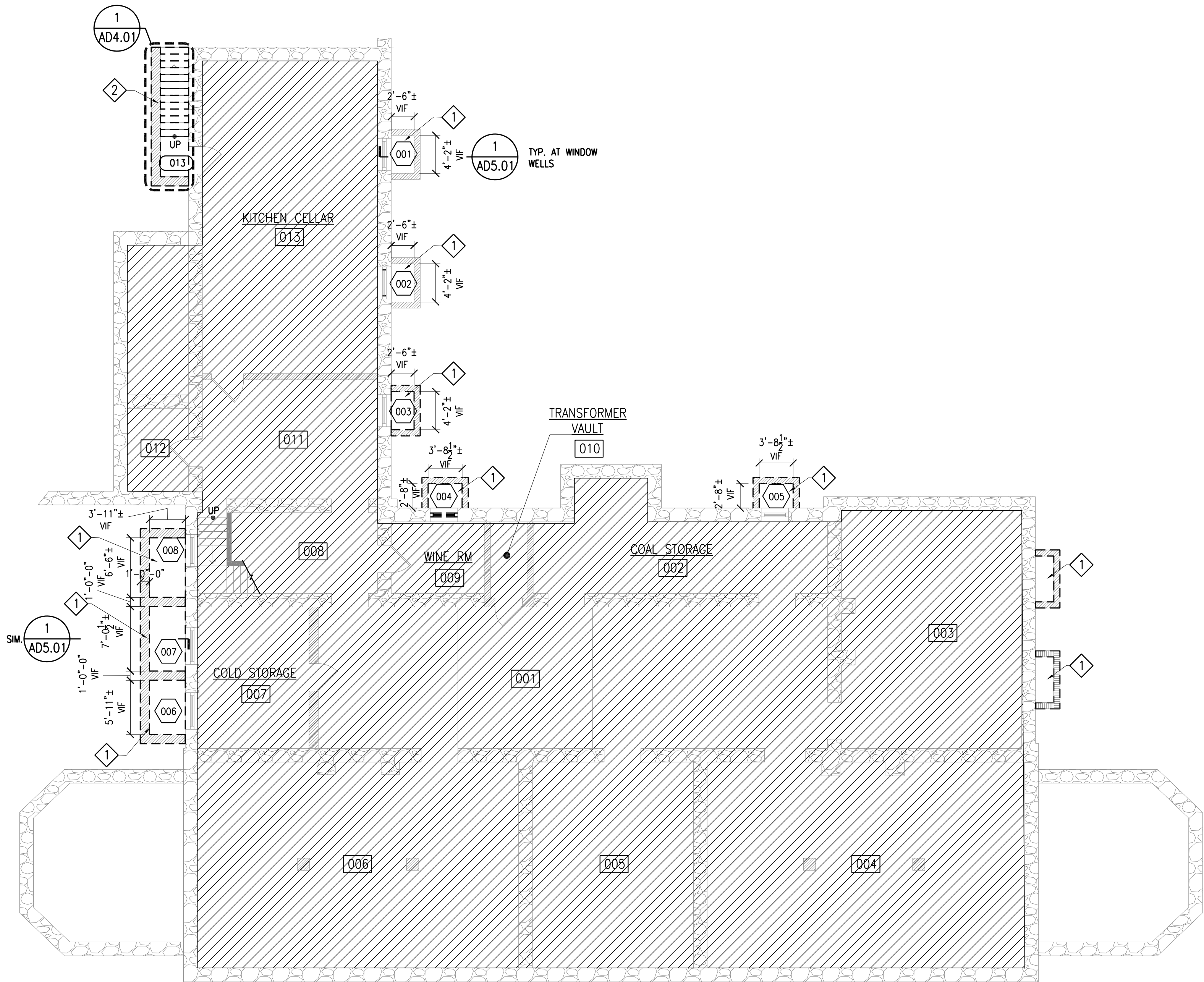
- LIMITED ASBESTOS AND LEAD PAIN SURVEY REPORT PREPARED BY AKRF, INC. DATED JULY 2016
- LIMITED MOLD SURVEY REPORT PREPARED BY NICHE ANALYSIS, INC. DATED JULY 25, 2016
- PHASE I ENVIRONMENTAL SITE ASSESSMENT PREPARED BY AKRF, INC. DATED DECEMBER 2015
- SUBSURFACE (PHASE II) INVESTIGATIONS PREPARED BY AKRF, INC. DATED AUGUST 2016
- CONSTRUCTION HEALTH AND SAFETY PLAN PREPARED BY AKRF, INC. DATED MARCH 2018
- MAIN HOUSE SEPTIC SYSTEM RECORD PLAN ENTITLED "SEWAGE DISPOSAL PLANT FOR MANOR HOUSE ESTATE OF MR. WILLIAM SLOANE MT. KISCO, WESTCHESTER COUNTY, NEW YORK" DATED 1906 THROUGH 1920 (RECORD ID 92-01-PU-11-0).

	 kaeyer, garment & davidson architects, pc 285 main street mount kisco, new york 10549 p: 914.666.5900 f: 914.666.0051 kgdarchitects.com	 AKRF, INC. 34 SOUTH BROADWAY #401 WHITE PLAINS, NY 10601 (914) 949-7336 (PHONE)		
1	6/7/19	JS	SK	ISSUED FOR BID
REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION
RECORD DRAWING CERTIFICATION				
<input type="checkbox"/> AS BUILT - CHANGES AS NOTED <input type="checkbox"/> AS BUILT - NO CHANGES				
CONTRACTOR		PROJECT COORDINATOR		
NAME	NAME	NAME		
SIGNATURE	SIGNATURE	SIGNATURE		
TITLE	TITLE	TITLE		
DATE	DATE	DATE		
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING				CONTRACT NUMBER 15-556
				SHEET NUMBER C905
				SHEET NO. 3 OF 30
MAIN HOUSE REHABILITATION MERESTEAD, BEDFORD AND NEW CASTLE, NEW YORK				SCALE: AS SHOWN DATE: 09/07/2018 DPW FILE NO. 92-01-C-30-0
NOTES & SITE DETAILS				REV. NO. 0

IN CHARGE OF SK
CHECKED BY JS
MADE BY YN/JWH

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE. MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

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1 BASEMENT DEMO PLAN
SCALE: 1/8"=1'-0"

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
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SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE 16, SECT. 66.5 (b) OF NEW YORK STATE LAW.

IN CHARGE OF _____

CHECKED BY _____

MADE BY _____

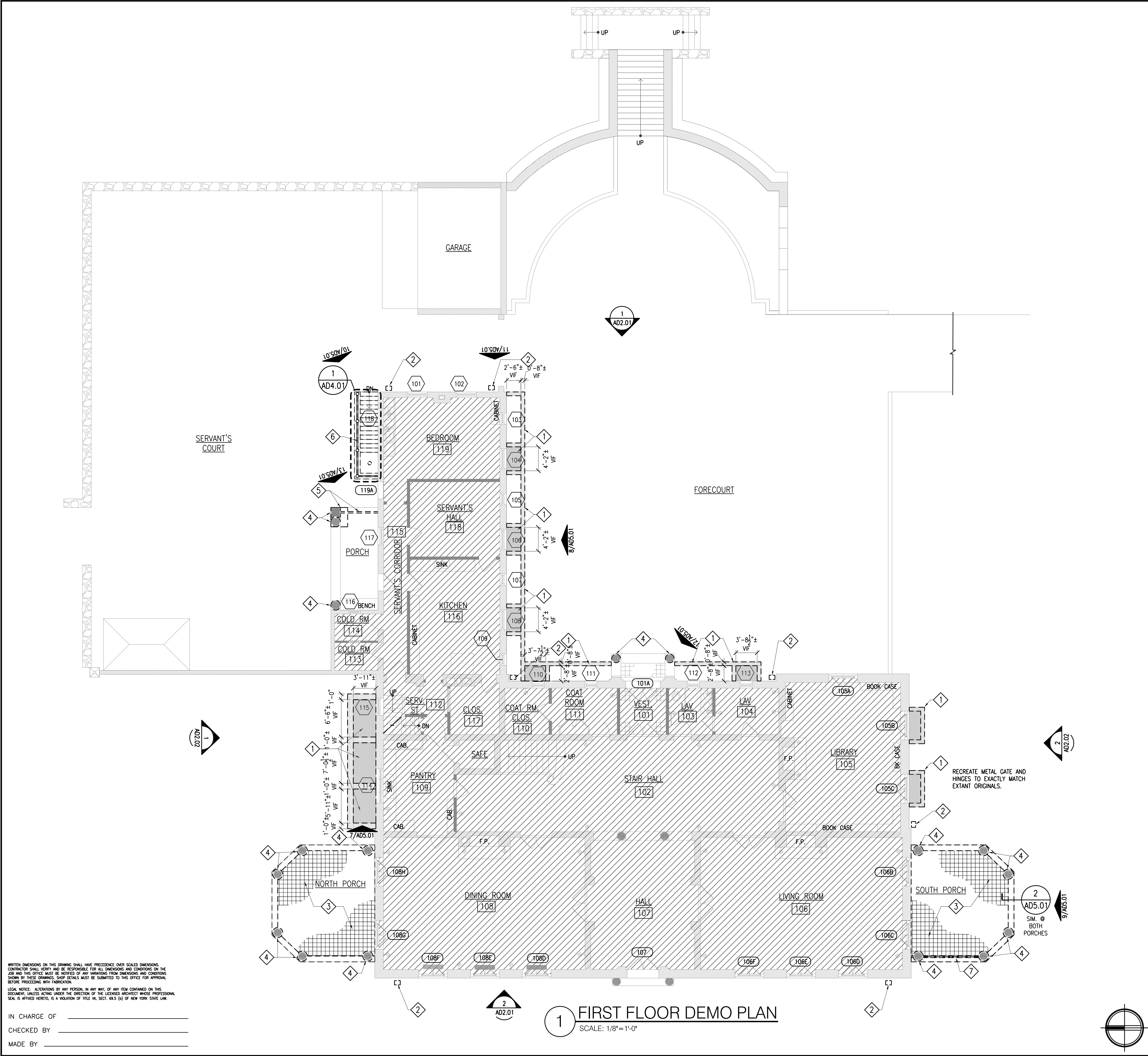
- LEGEND:**
- EXISTING ELEMENTS TO REMAIN.
 - ELEMENTS TO BE REMOVED
 - EXISTING BRICK MASONRY WALL
 - EXISTING STONE RUBBLE WALL
 - EXISTING STUD WALL
 - NOT IN CONTRACT -- NO INTERIOR SCOPE UNLESS INDICATED OTHERWISE ON DRAWINGS.
 - DEMO KEYNOTE
 - PHOTO KEY
 - DOOR #. REFER TO DOOR SCHEDULE ON SHEET A6.02.
 - WINDOW #. REFER TO WINDOW SCHEDULE ON SHEET A6.01.

GENERAL NOTES:
REFER TO SHEET G0.01 FOR GENERAL DEMO NOTES.

DEMO KEYNOTES (THIS SHEET ONLY):

- CAREFULLY DOCUMENT THE LOCATION, SIZE, AND CONFIGURATION OF ALL WINDOW WELLS AND BRICK BORDERS SO THEY CAN BE RE-BUILT LATER. REMOVE & SALVAGE AREA WELL GRATE COVERS FOR LATER REINSTALLATION. CAREFULLY REMOVE & SALVAGE BRICK BORDER FOR LATER REINSTALLATION. REMOVE & SALVAGE BRICK IN AREA WELL WALLS. REMOVE CONCRETE SLAB, DRAIN, AND ASSOCIATED PIPING. SUBMIT DOCUMENTATION FOR REVIEW & APPROVAL PRIOR TO REMOVAL.
- CAREFULLY DOCUMENT LOCATION, SIZE, AND CONFIGURATION OF METAL RAILINGS, BLUESTONE PAVERS, BRICK WALLS, AND CONCRETE STEPS AND SLAB. REMOVE & SALVAGE BRICK AT SIDEWALLS. REMOVE CONCRETE STAIRS & SLAB. REMOVE DRAIN & ASSOCIATED PIPING. SUBMIT DOCUMENTATION FOR REVIEW & APPROVAL PRIOR TO REMOVAL.

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1	06/07/19	RC	EK
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NAME _____	NAME _____		
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TITLE _____	TITLE _____		
DATE _____		DATE _____	
WESTCHESTER COUNTY, NEW YORK		CONTRACT NUMBER	SHEET NUMBER
DEPARTMENT OF PUBLIC WORKS		15-556	AD1.01
DIVISION OF ENGINEERING		SHEET NO. 6 OF 30	
MAIN HOUSE REHABILITATION - MERESTEAD		SCALE: 1/8" = 1'-0"	
BEDFORD AND NEW CASTLE, NEW YORK		DATE: 06/07/19	
BASEMENT DEMO PLAN		DPW FILE NO.	REV. NO.
		92-01-A-33-0	0



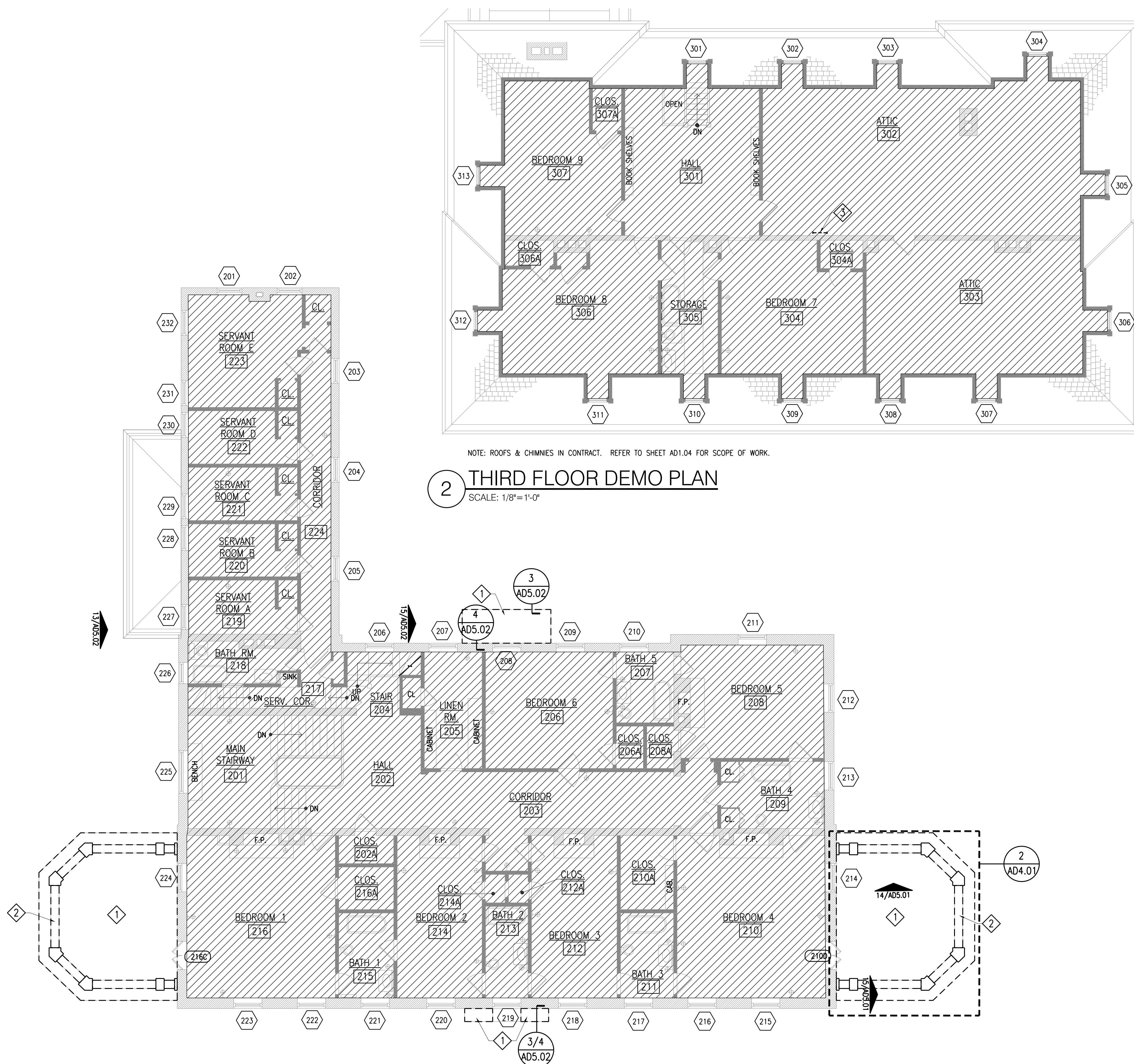
KG&D architects
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CONTRACTOR NAME _____ SIGNATURE _____ TITLE _____ DATE _____	PROJECT COORDINATOR NAME _____ SIGNATURE _____ TITLE _____ DATE _____

WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING		CONTRACT NUMBER 15-556	SHEET NUMBER AD1.02
MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK FIRST FLOOR DEMO PLAN		SHEET NO. 7 OF 30	SCALE: 1/8" = 1'-0" DATE: 06/07/19 DPW FILE NO. 92-01-A-34-0 REV. NO. 0



- LEGEND:**
- EXISTING ELEMENTS TO REMAIN.
 - ELEMENTS TO BE REMOVED
 - EXISTING BRICK MASONRY WALL
 - EXISTING STONE RUBBLE WALL
 - EXISTING STUD WALL
 - NOT IN CONTRACT -- NO INTERIOR SCOPE UNLESS INDICATED OTHERWISE ON DRAWINGS.
 - DEMO KEYNOTE
 - DOOR #. REFER TO DOOR SCHEDULE ON SHEET A6.02.
 - WINDOW #. REFER TO WINDOW SCHEDULE ON SHEET A6.01.

- GENERAL NOTES:**
REFER TO SHEET G0.01 FOR GENERAL DEMO NOTES.
- DEMO KEYNOTES (THIS SHEET ONLY):**
- 1 REMOVE FLAT SEAM COPPER ROOF, FLASHING AND ALL DAMAGED ROOF DECK. NOTE THAT BALCONY COPPER ROOFS HAVE BEEN PAINTED WITH AN ASPHALTIC ROOFING.
 - 2 REMOVE/PARTIALLY SALVAGE WOOD BALUSTRADE. REFER TO DETAIL 2/AD4.01.
 - 3 REMOVE WOOD LADDER IN ATTIC ROOM 302.

NOTE: ROOFS & CHIMNIES IN CONTRACT. REFER TO SHEET AD1.04 FOR SCOPE OF WORK.

2 THIRD FLOOR DEMO PLAN

SCALE: 1/8"=1'-0"

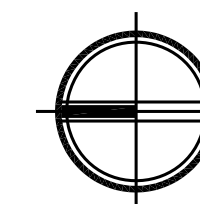
1 SECOND FLOOR DEMO PLAN

SCALE: 1/8"=1'-0"

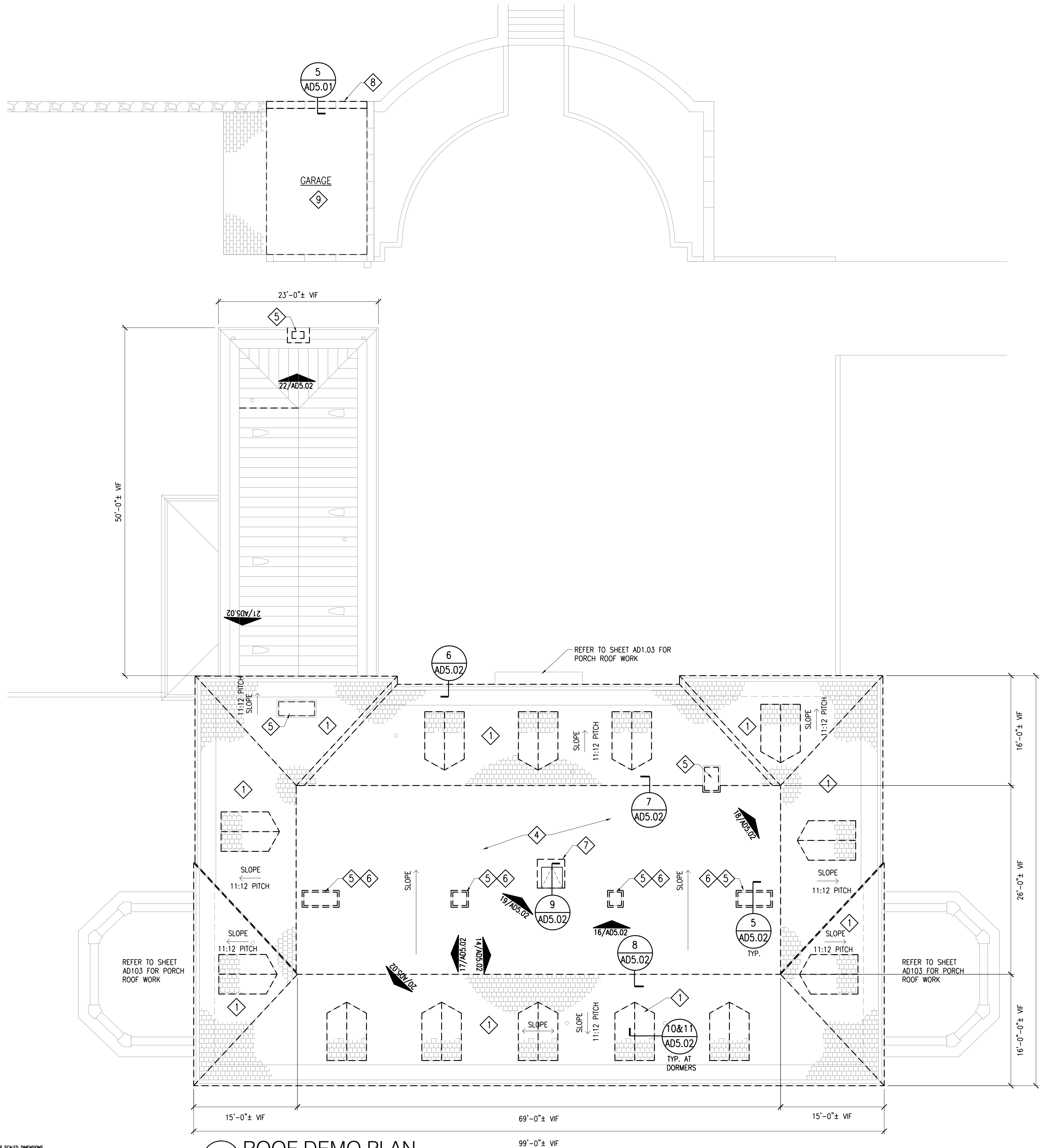
WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

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1	06/07/19	RC	EK	ISSUED FOR BID
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RECORD DRAWING CERTIFICATION				
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CONTRACTOR		PROJECT COORDINATOR		
NAME _____	NAME _____			
SIGNATURE _____	SIGNATURE _____			
TITLE _____	TITLE _____			
WESTCHESTER COUNTY, NEW YORK		CONTRACT NUMBER	SHEET NUMBER	
DEPARTMENT OF PUBLIC WORKS		15-556	AD1.03	
DIVISION OF ENGINEERING		SHEET NO. 8 OF 30		
MAIN HOUSE REHABILITATION - MERESTEAD		SCALE: 1/8"=1'-0"		
BEDFORD AND NEW CASTLE, NEW YORK		DATE: 06/07/19		
SECOND & THIRD FLOOR DEMO PLANS		DPW FILE NO.	REV. NO.	
		92-01-A-35-0	0	



1 ROOF DEMO PLAN
SCALE: 1/8"=1'-0"

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CHECKED BY _____
MADE BY _____

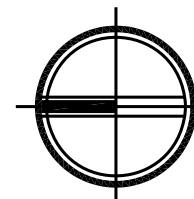
- LEGEND:
- EXISTING ELEMENTS TO REMAIN.
 - NEW CONSTRUCTION
 - SLATE ROOF
 - MEMBRANE ROOF
 - NOT IN CONTRACT
 - DEMO KEYNOTE

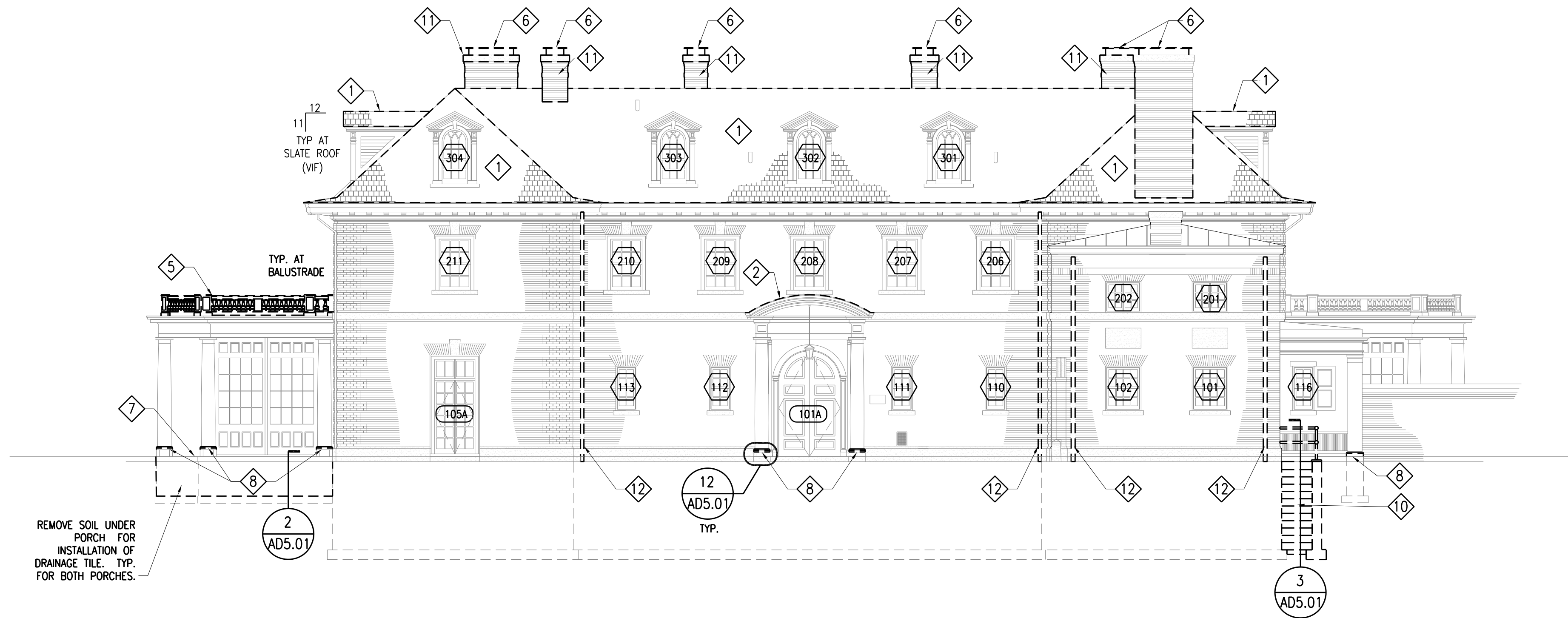
- GENERAL DEMO NOTES:
- REFER TO SHEET CD.01 FOR GENERAL DEMO NOTES.
 - REFER TO SPECIFICATION SECTIONS 028213 FOR LEAD PAINT AND 028334 FOR ACM. REFER TO THE CONSTRUCTION HEALTH & SAFETY REPORT FOR LISTING OF MATERIALS CONTAINING ACM..

DEMO KEYNOTES (THIS SHEET ONLY):

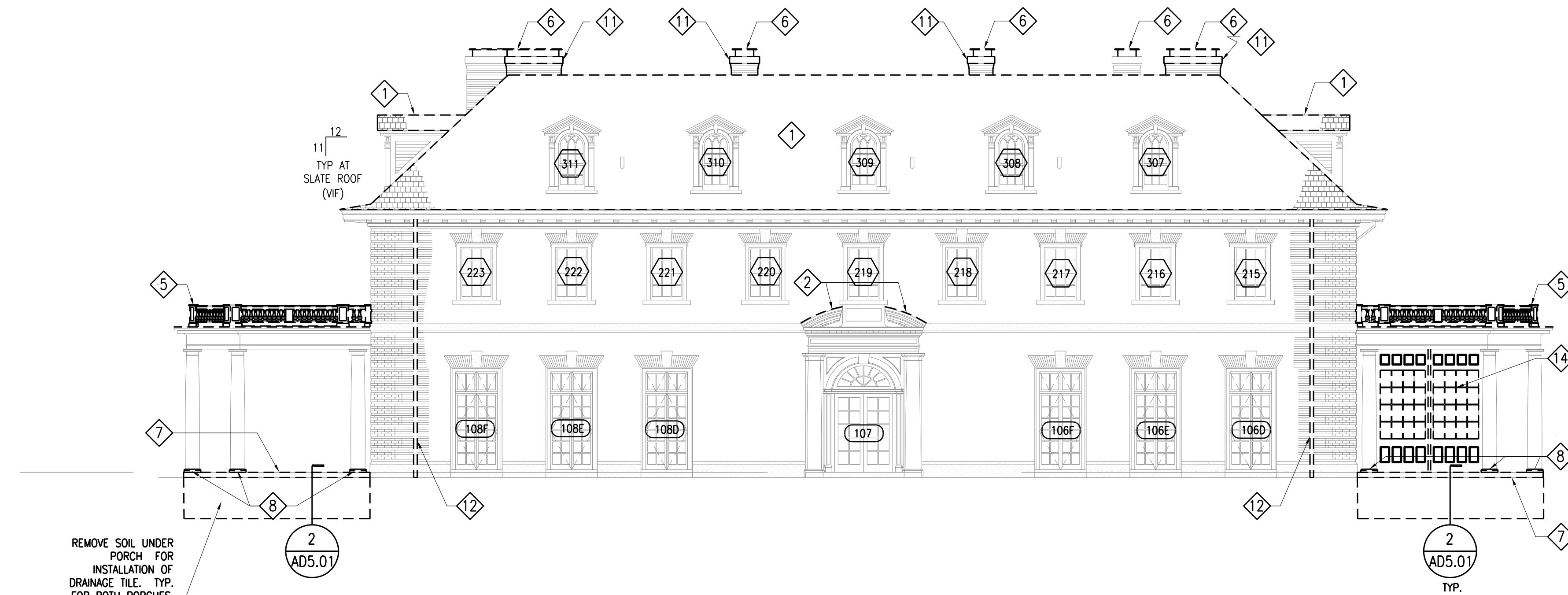
- CAREFULLY REMOVE & SALVAGE NON-CUT SLATE TILES IN GOOD CONDITION (NO CRACKS, CHIPS, SURFACE EROSION). ASSUME APPROXIMATELY 75% CAN BE SALVAGED. REMOVE ALL CUT SLATE TILES, FLASHING, AND COPPER GUTTER LINERS. REMOVE ALL DAMAGED GUTTER LINER SUBSTRATE/DECKING AND ALL DAMAGED WOOD ROOF DECK.
- REMOVE COPPER STANDING SEAM ROOF & FLASHING. REMOVE ALL DAMAGED ROOF DECKING.
- REMOVE COPPER FLAT SEAM GUTTER LINER.
- REMOVE ASPHALTIC ROOFING.
- REMOVE METAL CHIMNEY CAPS & BIRD SCREEN.
- DOCUMENT EXACT SIZE AND CONFIGURATION. CAREFULLY DISASSEMBLE CHIMNEY DOWN TO ROOF DECK. SALVAGE ALL BRICK, MARBLE CHIMNEY CAP, AND FLUE TILES FOR LATER REINSTALLATION. CAREFULLY REMOVE MORTAR FROM BRICK AND MARBLE.
- REMOVE EXIST. ROOF HATCH & WOOD CURB DOWN TO ROOF DECK.
- ALTERNATE 1: DOCUMENT, CAREFULLY REMOVE, & SALVAGE PARAPET WALL DOWN TO ROOF LEVEL. CAREFULLY REMOVE ALL MORTAR FROM SALVAGED BRICK AND MARBLE COPING UNITS FOR LATER CONSTRUCTION.
- ALTERNATE 1: REMOVE GARAGE ROOF & DECKING.

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1	06/07/19	RC	EK
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SIGNATURE _____	SIGNATURE _____		
TITLE _____	TITLE _____		
DATE _____		DATE _____	
WESTCHESTER COUNTY, NEW YORK		CONTRACT NUMBER	SHEET NUMBER
DEPARTMENT OF PUBLIC WORKS		15-556	AD1.04
DIVISION OF ENGINEERING		SHEET NO. 9 OF 30	
MAIN HOUSE REHABILITATION - MERESTEAD		SCALE: 1/8" = 1'-0"	
BEDFORD AND NEW CASTLE, NEW YORK		DATE: 06/07/19	
DPW FILE NO.		REV. NO.	
92-01-A-36-0		0	
ROOF DEMO PLAN			





1 DEMO: EAST ELEVATION
SCALE: 1/8"=1'-0"



2 DEMO: WEST ELEVATION
SCALE: 1/8"=1'-0"

- LEGEND:
- EXISTING ELEMENTS TO REMAIN.
 - ELEMENTS TO BE REMOVED
 - EXISTING MARBLE
 - EXISTING BRICK
 - SLATE ROOF
 - DEMO KEYNOTE

- GENERAL NOTES:
- REFER TO SHEET 00.01 FOR GENERAL DEMO NOTES.
 - ASSUME ACM IN ROOFING MATERIALS. REFER TO SPECIFICATION SECTION 028334.
 - ASSUME LEAD PAINT. REFER TO SPECIFICATION SECTION 028213.
 - REFER TO SPECIFICATION SECTION 312112 FOR ENVIRONMENTAL MANAGEMENT.
 - REFER TO CONSTRUCTION HEALTH AND SAFETY PLAN PREPARED BY AKRF.

- DEMO KEYNOTES:
- CAREFULLY REMOVE & SALVAGE NON-CUT SLATE TILES IN GOOD CONDITION (NO CRACKS, CHIPS, SURFACE EROSION). ASSUME APPROXIMATELY 75% CAN BE SALVAGED. REMOVE ALL CUT SLATE TILES, FLASHING, AND COPPER GUTTER LINERS. REMOVE DAMAGED GUTTER LINER SUBSTRATE/DECKING. REMOVE ALL DAMAGED ROOF DECKING.
 - CAREFULLY DOCUMENT FOR LATER RECREATION & REMOVE COPPER ROOF & FLASHING. REMOVE ALL DAMAGED ROOF DECKING.
 - ALTERNATE 1: DOCUMENT, CAREFULLY REMOVE, & SALVAGE PARAPET WALL DOWN TO ROOF LEVEL. CAREFULLY REMOVE ALL MORTAR FROM SALVAGED BRICK AND MARBLE COPING UNITS FOR LATER CONSTRUCTION.
 - ALTERNATE 1: REMOVE GARAGE ROOF & DECKING.
 - REMOVE/PARTIALLY SALVAGE WOOD BALUSTRADE. REFER TO 2/AD4.01.
 - REMOVE METAL CHIMNEY CAPS & BIRD SCREEN.
 - REMOVE EXIST. QUARRY TILES AND SETTING BED MORTAR. SALVAGE 24 ORIGINAL TILES FOR USE IN REPLICATING ORIGINAL TILES. TEMPORARILY SHORE EXISTING PORCH ROOF AND DISENGAGE COLUMNS FROM MARBLE PERIMETER PAVING. DOCUMENT EXACT LOCATION, SIZE, & CONFIGURATION OF MARBLE PATIO BORDER SO IT CAN BE REINSTALLED AT A LATER DATE. REMOVE & SALVAGE PERIMETER MARBLE FOR LATER REINSTALLATION. SUBMIT DOCUMENTATION FOR REVIEW AND APPROVAL PRIOR TO REMOVAL.
 - REMOVE OCTAGONAL WOOD COLUMN BASES.
 - PROVIDE SHORING FOR PORCH ROOF & DISENGAGE COLUMNS SO DAMAGE CONCRETE CAN BE REMOVED. DOCUMENT LOCATION AND CAREFULLY REMOVE WOOD BALUSTRADE FOR LATER REINSTALLATION. CUT-OUT AND REMOVE DAMAGED CONCRETE. SUBMIT DOCUMENTATION FOR REVIEW AND APPROVAL PRIOR TO REMOVAL.
 - CAREFULLY DOCUMENT EXACT LOCATION, SIZE, AND CONFIGURATION OF METAL RAILINGS, BLUESTONE PAVERS, BRICK WALLS, AND CONCRETE STEPS AND SLAB. REMOVE & SALVAGE BRICK AT SIDEWALLS. REMOVE CONCRETE STAIRS & SLAB. REMOVE DRAIN & ASSOCIATED PIPING. SUBMIT DOCUMENTATION FOR REVIEW AND APPROVAL PRIOR TO REMOVAL.
 - DOCUMENT EXACT SIZE AND CONFIGURATION. CAREFULLY DISASSEMBLE CHIMNEY DOWN TO ROOF DECK. SALVAGE ALL BRICK, MARBLE CHIMNEY CAP, AND FLUE TILES FOR LATER REINSTALLATION. CAREFULLY REMOVE MORTAR FROM BRICK AND MARBLE. SUBMIT DOCUMENTATION FOR REVIEW AND APPROVAL PRIOR TO REMOVAL.
 - REMOVE EXIST. DOWNSPOUTS. SALVAGE CAST-IRON DOWNSPOUT RECEIVERS FOR LATER REINSTALLATION. REFER TO PHOTO 11/AD5.01.
 - REMOVE WOOD DOORS & FRAMING AS REQUIRED TO INSTALL NEW LOUVER.
 - CAREFULLY DOCUMENT EXACT LOCATION, SIZE, AND CONFIGURATION OF WOOD/GLASS PATIO WALL. REMOVE & SALVAGE FOR LATER REINSTALLATION. SUBMIT DOCUMENTATION FOR REVIEW AND APPROVAL PRIOR TO REMOVAL.



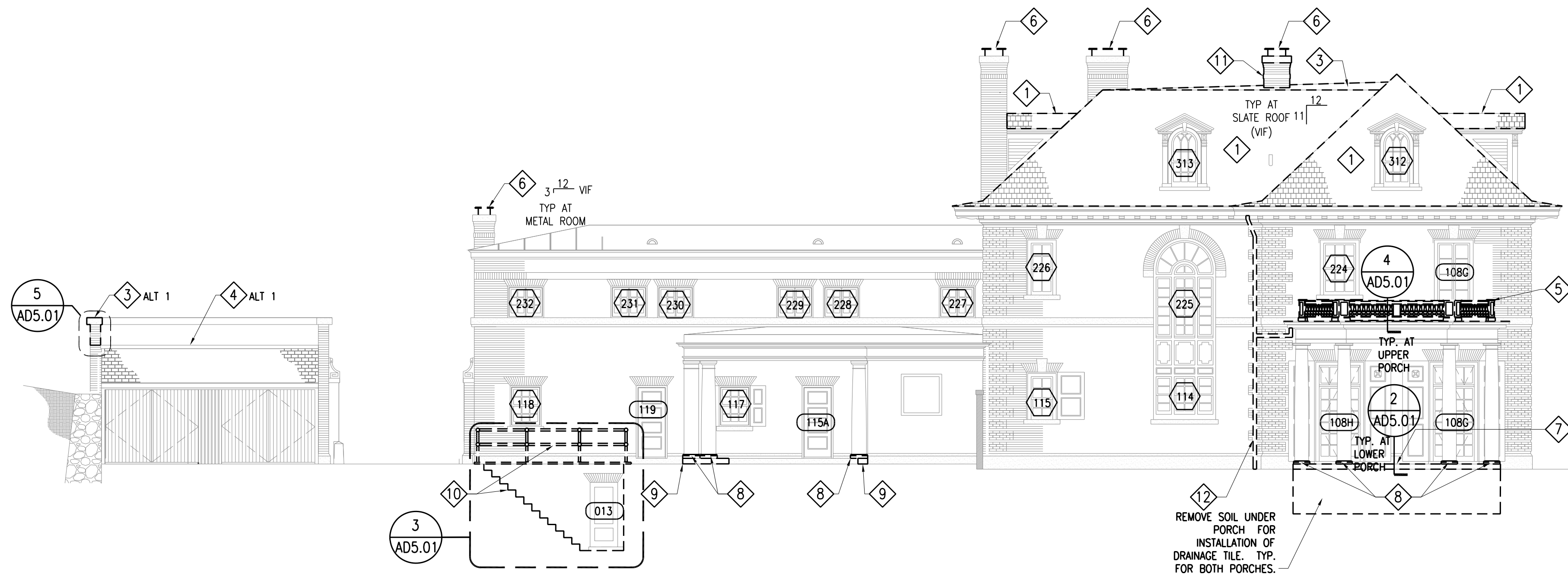
KG&D architects

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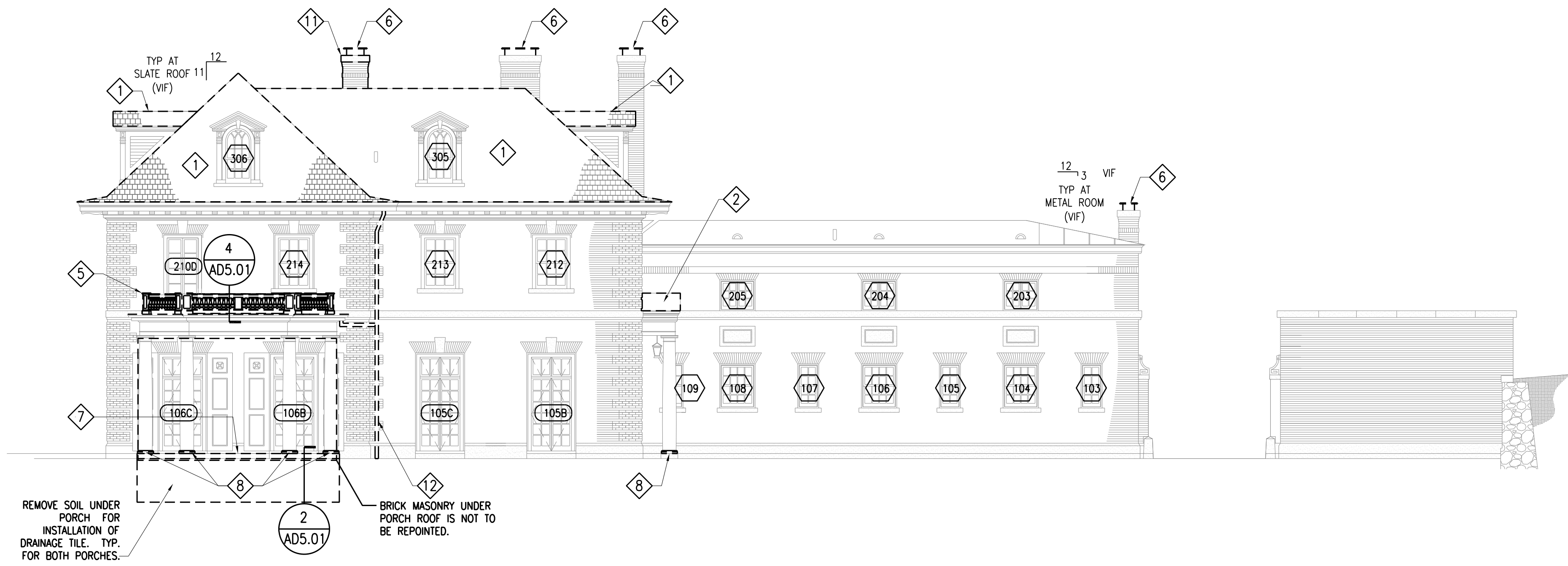
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CONTRACTOR		PROJECT COORDINATOR		
NAME	DATE	NAME	DATE	
SIGNATURE		SIGNATURE		
TITLE		TITLE		
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING				CONTRACT NUMBER 15-556 SHEET NUMBER AD2.01
MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK				SHEET NO. 10 OF 30
EAST & WEST EXTERIOR DEMO ELEVATIONS				SCALE: 1/8" = 1'-0" DATE: 06/07/19 DPW FILE NO. 92-01-A-37-0 REV. NO. 0

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
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JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS
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IN CHARGE OF _____
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1 DEMO: NORTH ELEVATION
SCALE: 1/8"=1'-0"



2 DEMO: SOUTH ELEVATION
SCALE: 1/8"=1'-0"

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

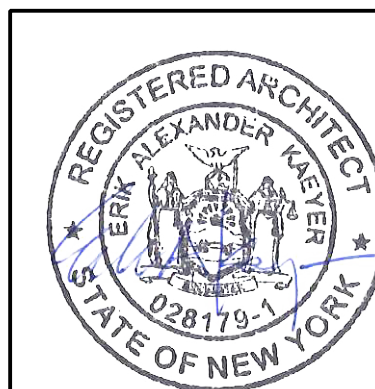
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IN CHARGE OF _____
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- LEGEND:
- EXISTING ELEMENTS TO REMAIN.
 - ELEMENTS TO BE REMOVED
 - EXISTING MARBLE
 - EXISTING BRICK
 - SLATE ROOF
 - DEMO KEYNOTE

- GENERAL NOTES:
- REFER TO SHEET G0.01 FOR GENERAL DEMO NOTES.
 - ASSUME ACM IN ROOFING MATERIALS. REFER TO SPECIFICATION SECTION 028334.
 - ASSUME LEAD PAINT. REFER TO SPECIFICATION SECTION 028213.
 - REFER TO SPECIFICATION SECTION 312112 FOR ENVIRONMENTAL MANAGEMENT.
 - REFER TO CONSTRUCTION HEALTH AND SAFETY PLAN PREPARED BY AKRF.

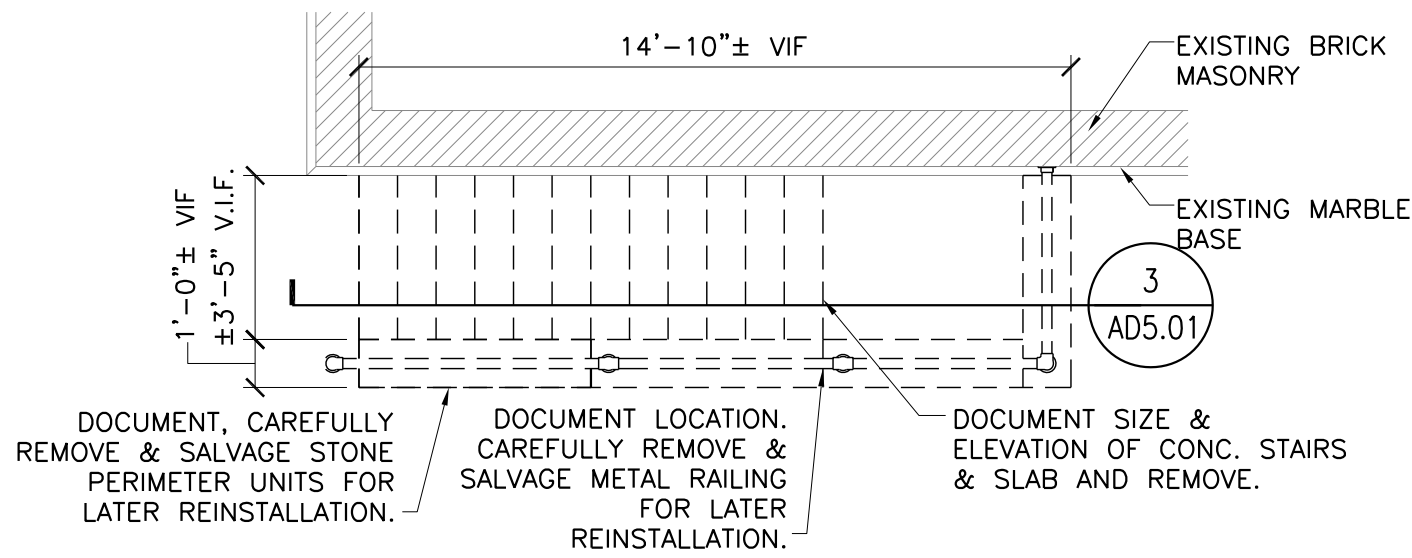
- DEMO KEYNOTES:
- CAREFULLY REMOVE & SALVAGE NON-CUT SLATE TILES IN GOOD CONDITION (NO CRACKS, CHIPS, SURFACE EROSION). ASSUME APPROXIMATELY 75% CAN BE SALVAGED. REMOVE ALL CUT SLATE TILES, FLASHING, AND COPPER GUTTER LINERS. REMOVE DAMAGED GUTTER LINER SUBSTRATE/DECKING. REMOVE ALL DAMAGED ROOF DECKING.
 - CAREFULLY DOCUMENT FOR LATER RECREATION & REMOVE COPPER ROOF & FLASHING. REMOVE ALL DAMAGED ROOF DECKING.
 - ALTERNATE 1: DOCUMENT, CAREFULLY REMOVE, & SALVAGE PARAPET WALL DOWN TO ROOF LEVEL. CAREFULLY REMOVE ALL MORTAR FROM SALVAGED BRICK AND MARBLE COPING UNITS FOR LATER CONSTRUCTION.
 - ALTERNATE 1: REMOVE GARAGE ROOF & DECKING.
 - REMOVE/PARTIALLY SALVAGE WOOD BALUSTRADE. REFER TO 2/AD4.01.
 - REMOVE METAL CHIMNEY CAPS & BIRD SCREEN.
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 - REMOVE OCTAGONAL WOOD COLUMN BASES.
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 - REMOVE EXIST. DOWNSPOUTS. SALVAGE CAST-IRON DOWNSPOUT RECEIVERS FOR LATER REINSTALLATION. REFER TO PHOTO 11/AD5.01.
 - REMOVE WOOD DOORS & FRAMING AS REQUIRED TO INSTALL NEW LOUVER.
 - CAREFULLY DOCUMENT EXACT LOCATION, SIZE, AND CONFIGURATION OF WOOD/GLASS PATIO WALL. REMOVE & SALVAGE FOR LATER REINSTALLATION. SUBMIT DOCUMENTATION FOR REVIEW AND APPROVAL PRIOR TO REMOVAL.



KG&D architects

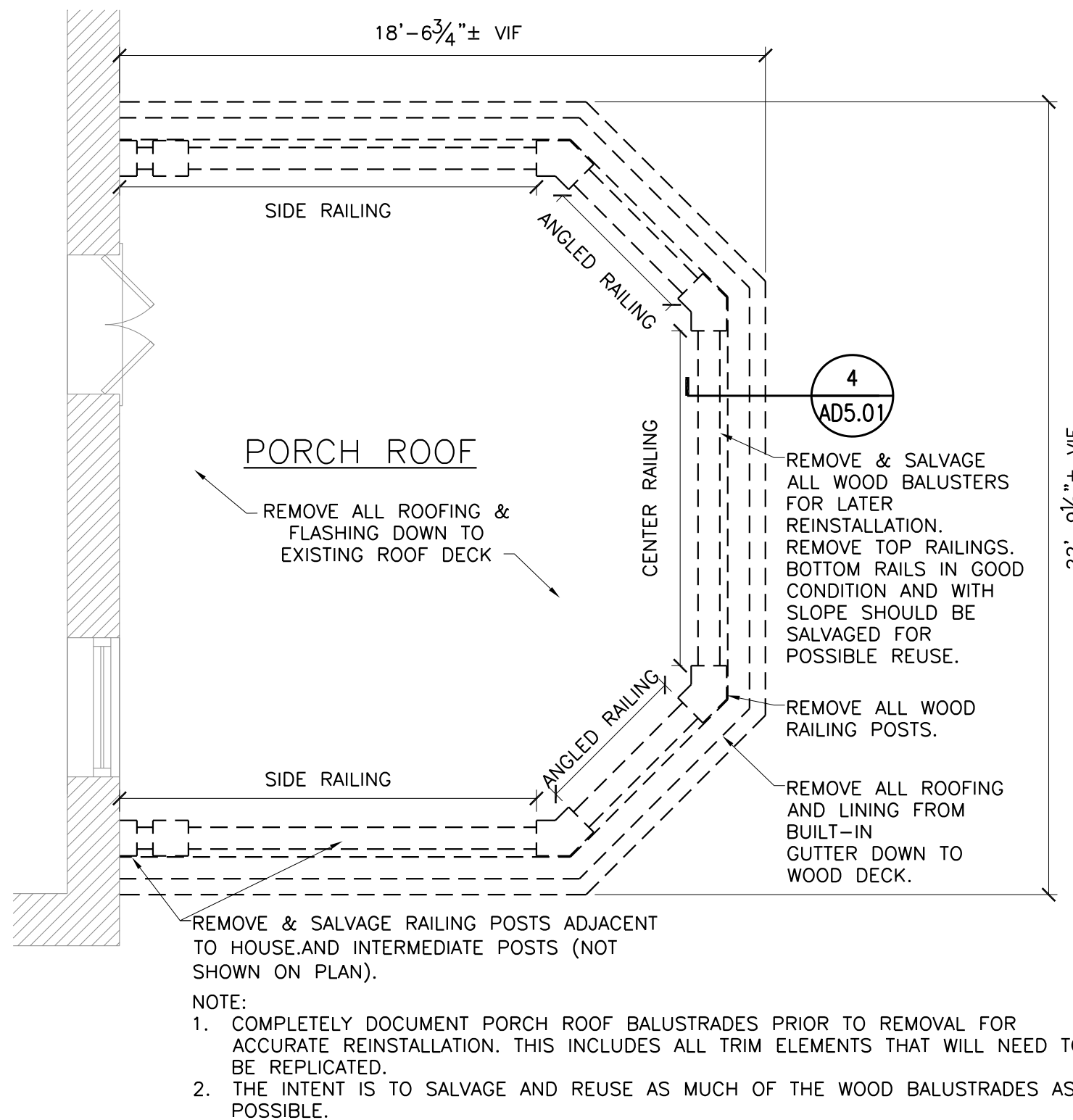
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1	06/07/19	RC	EK	ISSUED FOR BID
REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION
RECORD DRAWING CERTIFICATION				
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CONTRACTOR		PROJECT COORDINATOR		
NAME	DATE	NAME	DATE	
SIGNATURE		SIGNATURE		
TITLE		TITLE		
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING				CONTRACT NUMBER 15-556 SHEET NUMBER AD2.02
MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK				SHEET NO. 11 OF 30
NORTH & SOUTH EXTERIOR DEMO ELEVATIONS				SCALE: 1/8" = 1'-0" DATE: 06/07/19 DPW FILE NO. 92-01-A-38-0 REV. NO. 0



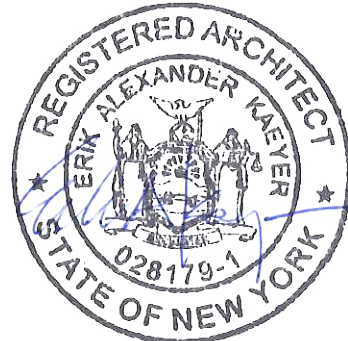
1 BASEMENT STAIR -- DETAIL DEMO PLAN

SCALE: 1/4"=1'-0"



2 TYPICAL PORCH ROOF DEMOLITION PLAN

SCALE: 1/4"=1'-0"



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CONTRACTOR		PROJECT COORDINATOR		
NAME	_____ SIGNATURE	NAME	_____ SIGNATURE	
TITLE	_____ DATE	TITLE	_____ DATE	
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING				CONTRACT NUMBER 15-556 SHEET NUMBER AD4.01
MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK				SHEET NO. 12 OF 30 SCALE: AS SHOWN DATE: 06/07/19
DETAIL DEMO PLANS				DPW FILE NO. 92-01-A-39-0 REV. NO. 0

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WOOD OCTAGONAL COLUMN BASES TO BE REMOVED AT MAIN ENTRY PORCH (SIM. AT SERVANT'S PORCH AND SIDE PORCHES).

TYP. DEMO OF OCTAGONAL COL. BASE.

12 NTS



AREA OF DEMO WORK AT SERVANT'S PORCH.

AREA OF DAMAGED CONCRETE TO BE REMOVED.

SERVANT'S PORCH DEMO WORK

13 NTS



PORCH BALUSTRADE TO BE DOCUMENTED, REMOVED/SALVAGED. REFER TO DETAIL 4/ADS.01..

REMOVE ROOFING

SOUTH BALCONY DEMO (NORTH SIMILAR)

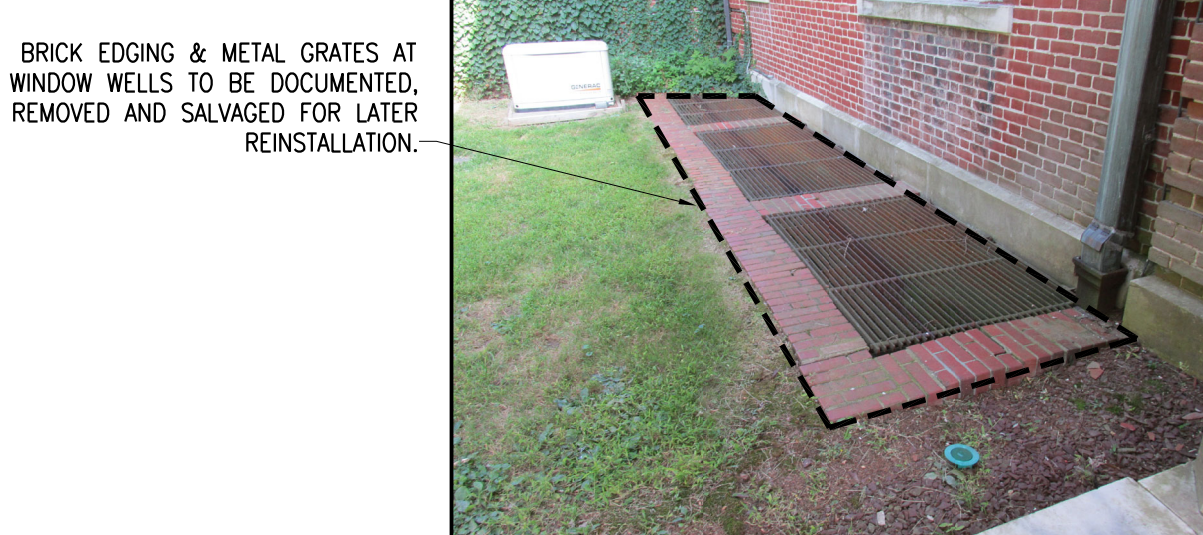
14 NTS



PORCH BALCONY GUTTER TO BE DOCUMENTED AND REMOVED. REFER TO DETAIL 4/ADS.01.

TYP. BALCONY GUTTER DEMO

15 NTS



BRICK EDGING & METAL GRATES AT WINDOW WELLS TO BE DOCUMENTED, REMOVED AND SALVAGED FOR LATER REINSTALLATION.

SERVANT'S WING -- NORTH ELEV. WINDOW WELLS

7 NTS



BRICK EDGING & METAL GRATES AT WINDOW WELLS TO BE DOCUMENTED, REMOVED AND SALVAGED FOR LATER REINSTALLATION.

SERVANT'S WING -- SOUTH ELEV. WINDOW WELLS

8 NTS



PORCH BALUSTRADE TO BE DOCUMENTED, REMOVED/SALVAGED. REFER TO DETAIL 4/ADS.01..

AREA OF WORK AT PORCH SLABS. REFER TO DETAILS 2/ADS.01..

TYP. PORCH DEMO WORK

9 NTS



AREA OF DEMO WORK AT STAIR TO BASEMENT. REFER TO DETAIL 3/ADS.01.

BASEMENT STAIR DEMO WORK

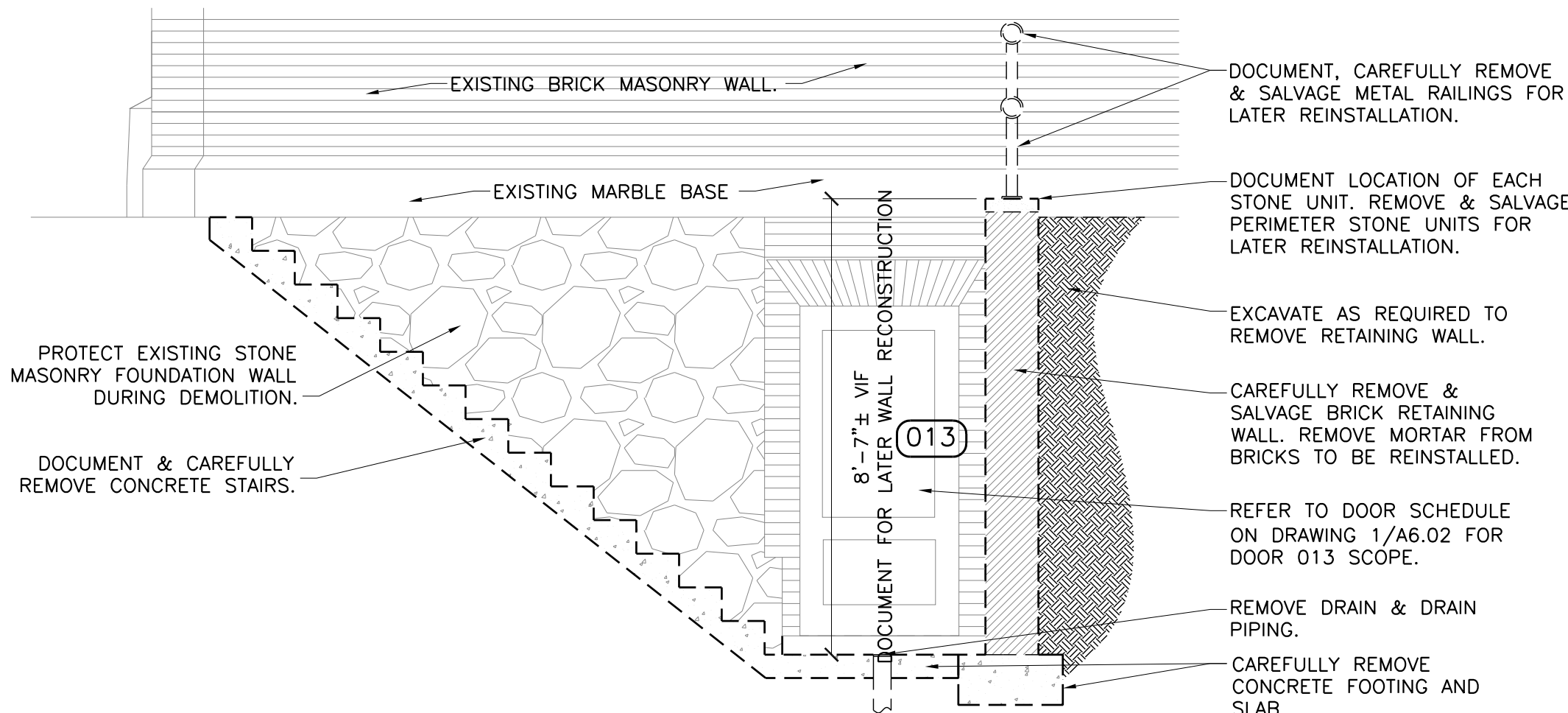
10 NTS



CAST-IRON DOWNSPOUT RECEIVER TO BE DOCUMENTED, REMOVED, AND SALVAGED FOR LATER REINSTALLATION.

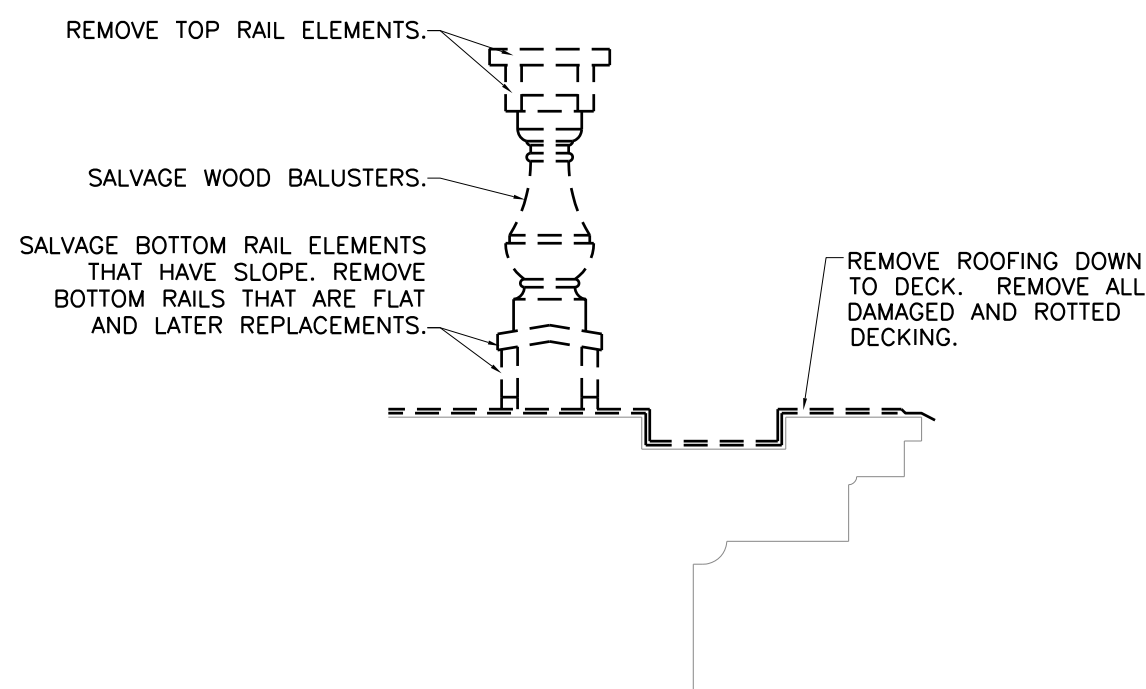
CAST IRON GUTTER RECEIVER

11 NTS



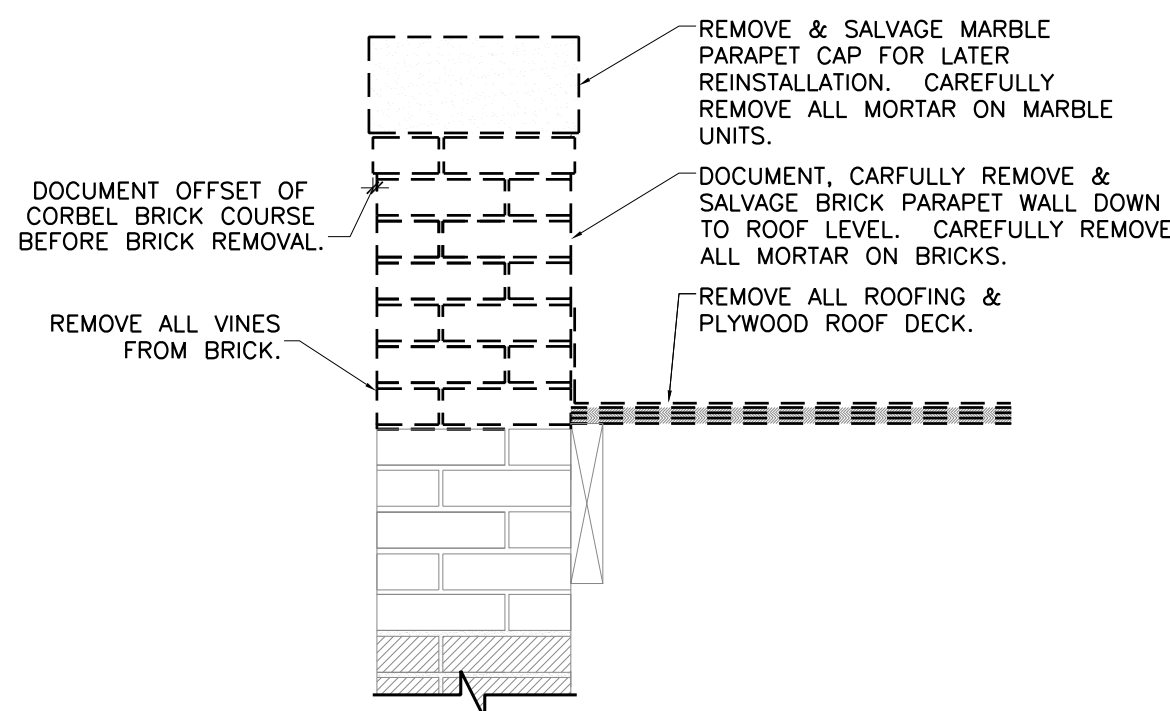
DEMO SECTION PLAN OF BASEMENT STAIR

SCALE: 3/4"=1'-0"



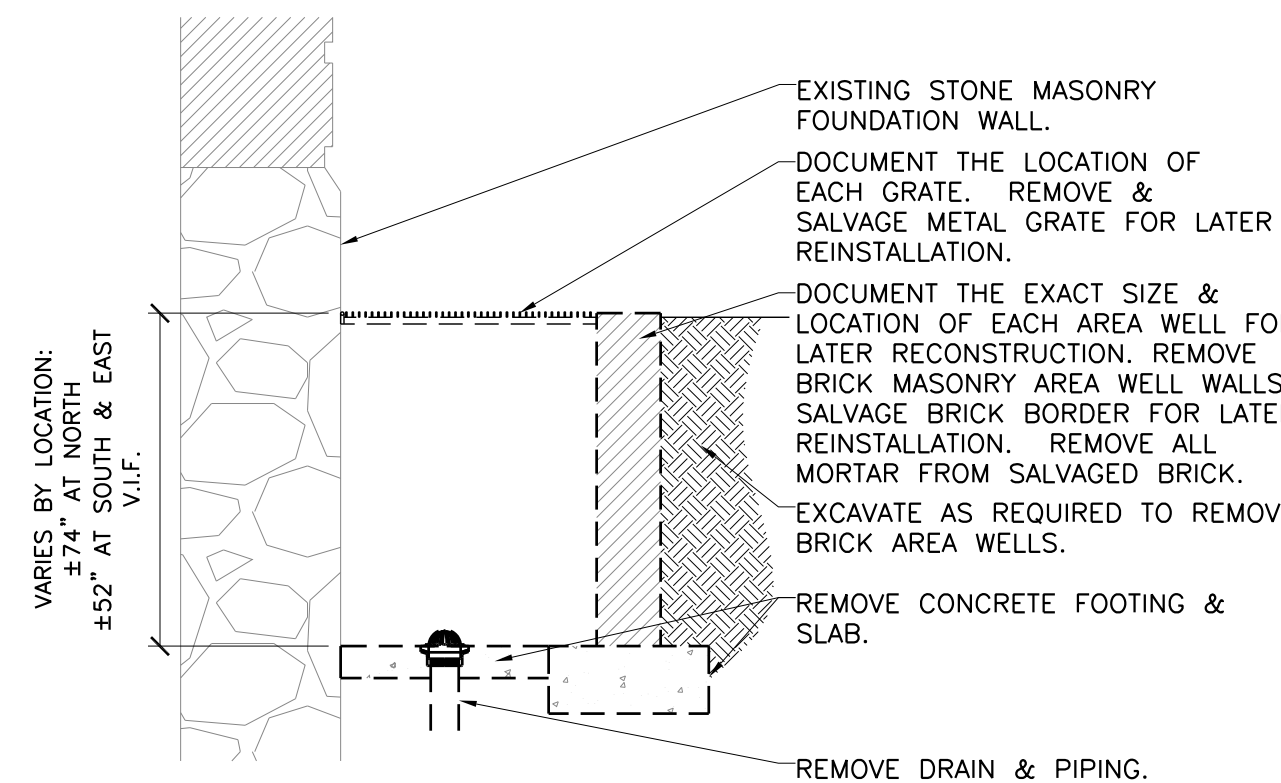
DEMO SECTION THROUGH BALCONY

SCALE: 1 1/2"=1'-0"



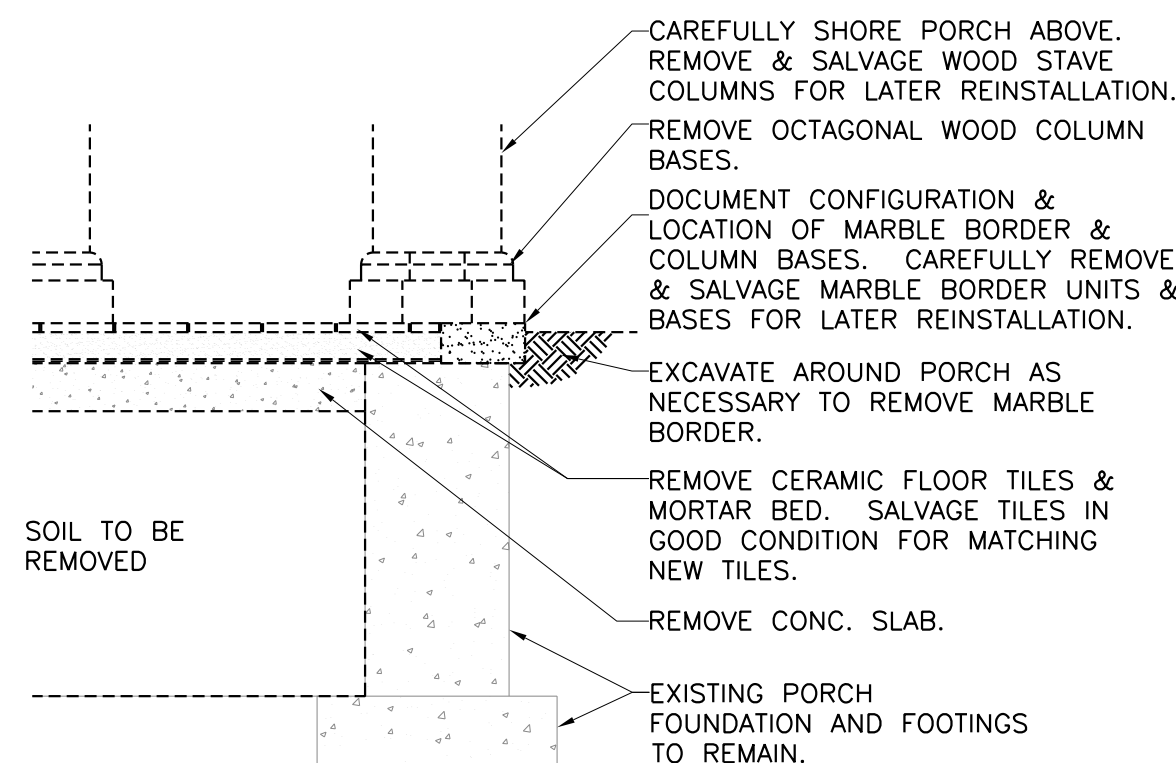
ALT. 1: DEMO SECTION-GARAGE ROOF

SCALE: 1 1/2"=1'-0"



DEMO SECTION THROUGH WINDOW WELL

SCALE: 3/4"=1'-0"



DEMO SECTION THROUGH PORCH

SCALE: 3/4"=1'-0"

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<table><tr><td>1</td><td>06/07/19</td><td>RC</td><td>EK</td><td>ISSUED FOR BID</td></tr><tr><td>REVISION NUMBER</td><td>DATE</td><td>MADE BY</td><td>APP'D BY</td><td>REVISION</td></tr></table>				1	06/07/19	RC	EK	ISSUED FOR BID	REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION
1	06/07/19	RC	EK	ISSUED FOR BID									
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CONTRACTOR		PROJECT COORDINATOR											
NAME _____ SIGNATURE _____ TITLE _____		NAME _____ SIGNATURE _____ TITLE _____											
DATE _____		DATE _____											
WESTCHESTER COUNTY, NEW YORK		CONTRACT NUMBER	SHEET NUMBER										
DEPARTMENT OF PUBLIC WORKS		15-556	AD5.01										
DIVISION OF ENGINEERING		SHEET NO. 13 OF 30											
MAIN HOUSE REHABILITATION - MERESTEAD		SCALE: AS SHOWN											
BEDFORD AND NEW CASTLE, NEW YORK		DATE: 06/07/19											
DEMO DETAILS		DPW FILE NO.	REV. NO.										
		92-01-A-40-0	0										



SERVANT'S PORCH ROOF



ENTRY ROOF



MAIN ROOF CURB



ROOF ACCESS DOOR CURB



SERVANT'S WING ROOF



MAIN ROOF



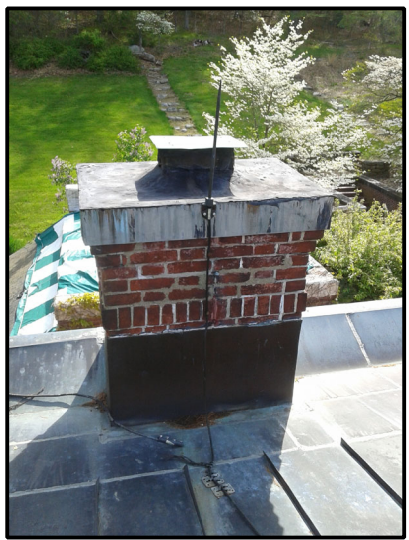
MAIN ROOF CHIMNEY



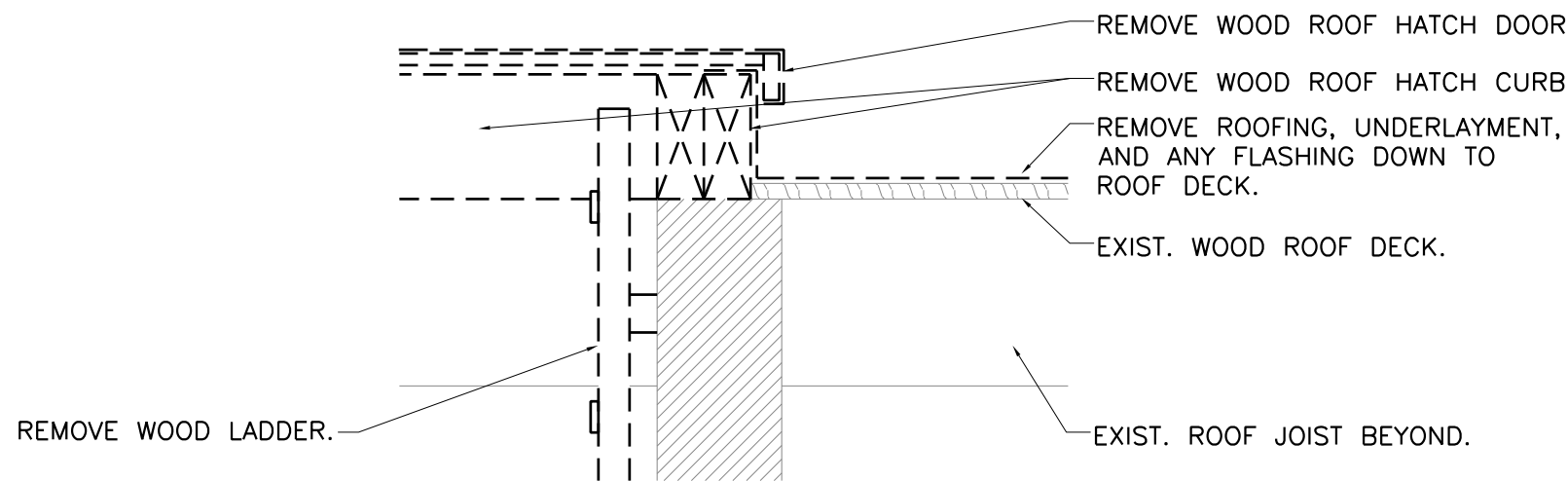
MAIN ROOF CORNER



MAIN ROOF CORNER

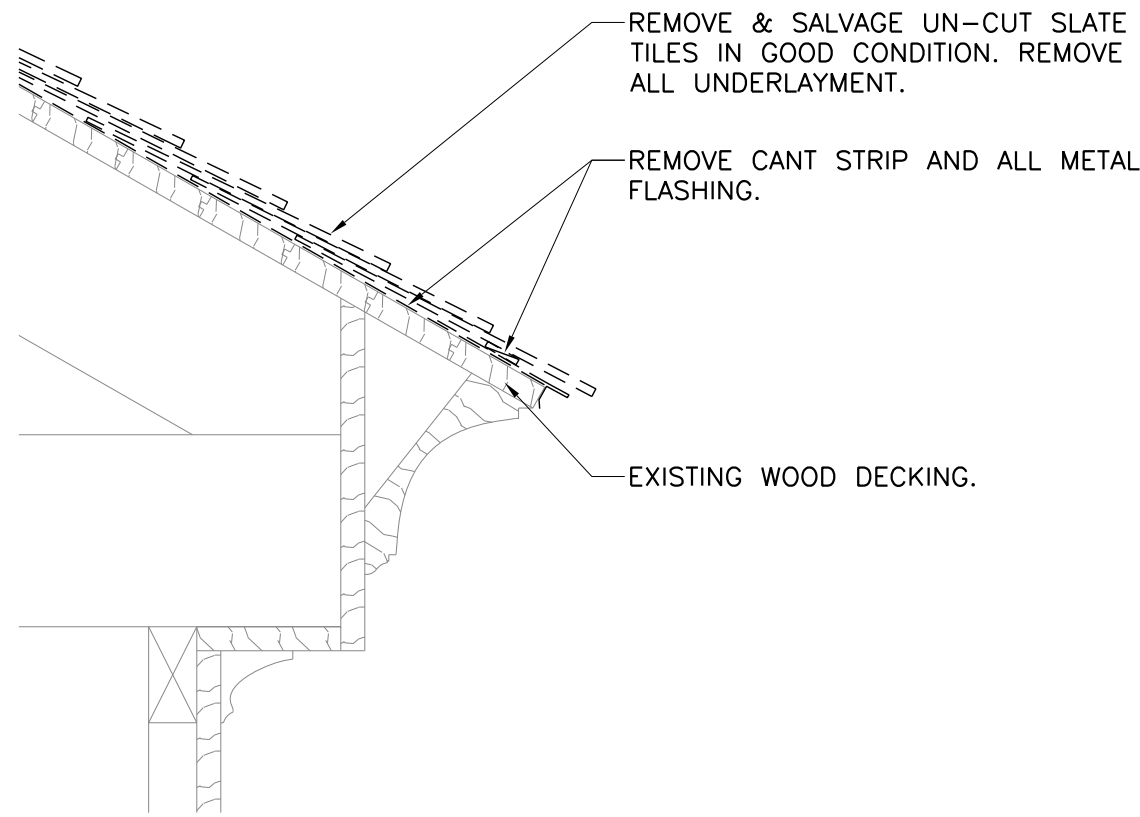


SERVANT'S WING ROOF CHIMNEY



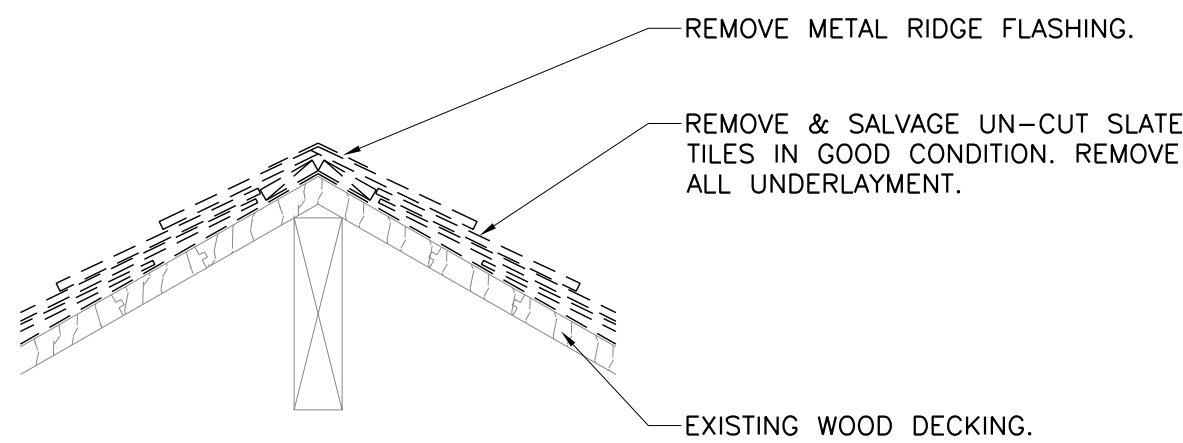
PARTIAL DEMO SECT.-- ROOF ACCESS DR

SCALE: 1 1/2"=1'-0"



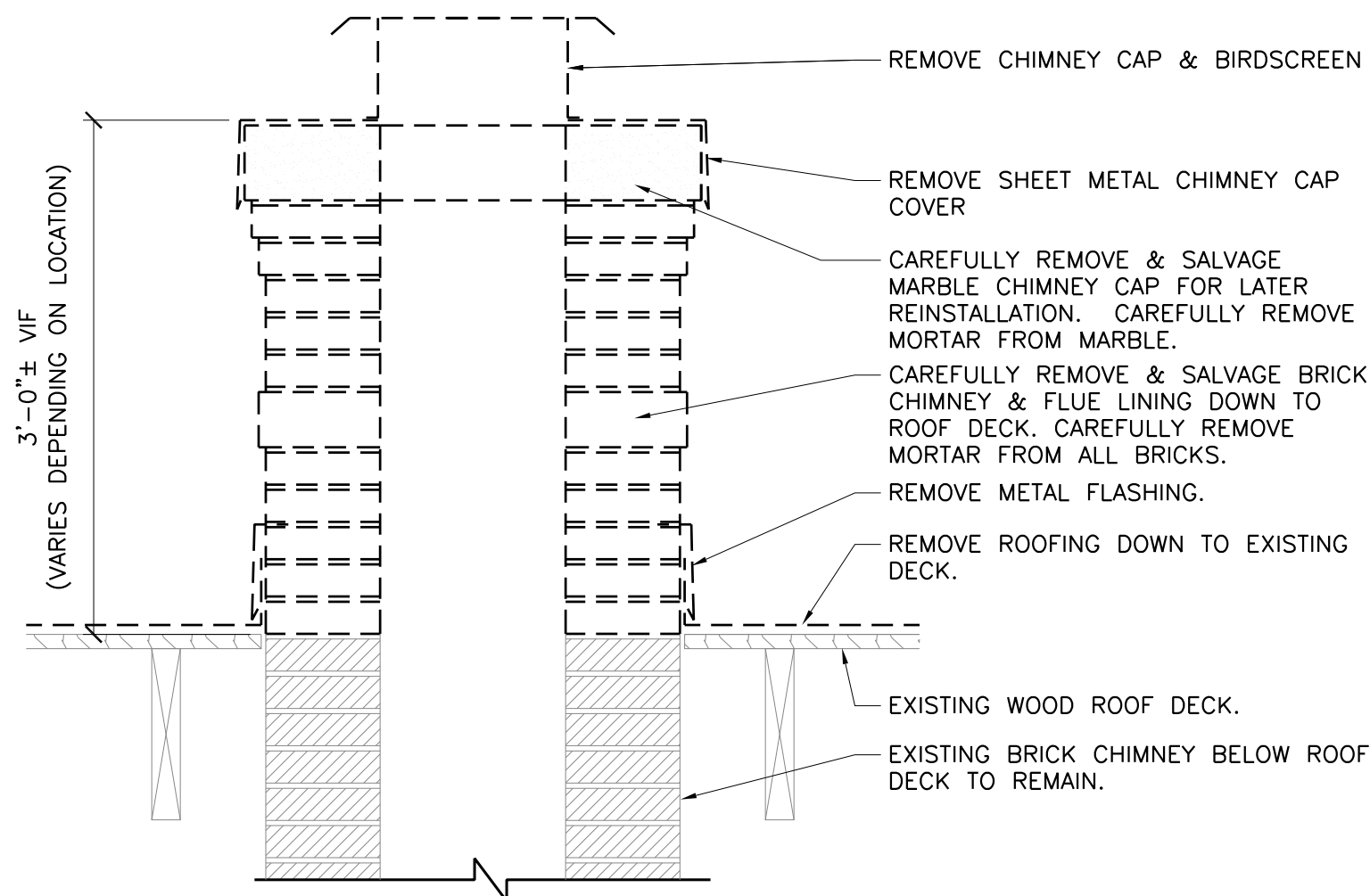
DEMO SECTION-- DORMER ROOF EDGE

SCALE: 1 1/2"=1'-0"



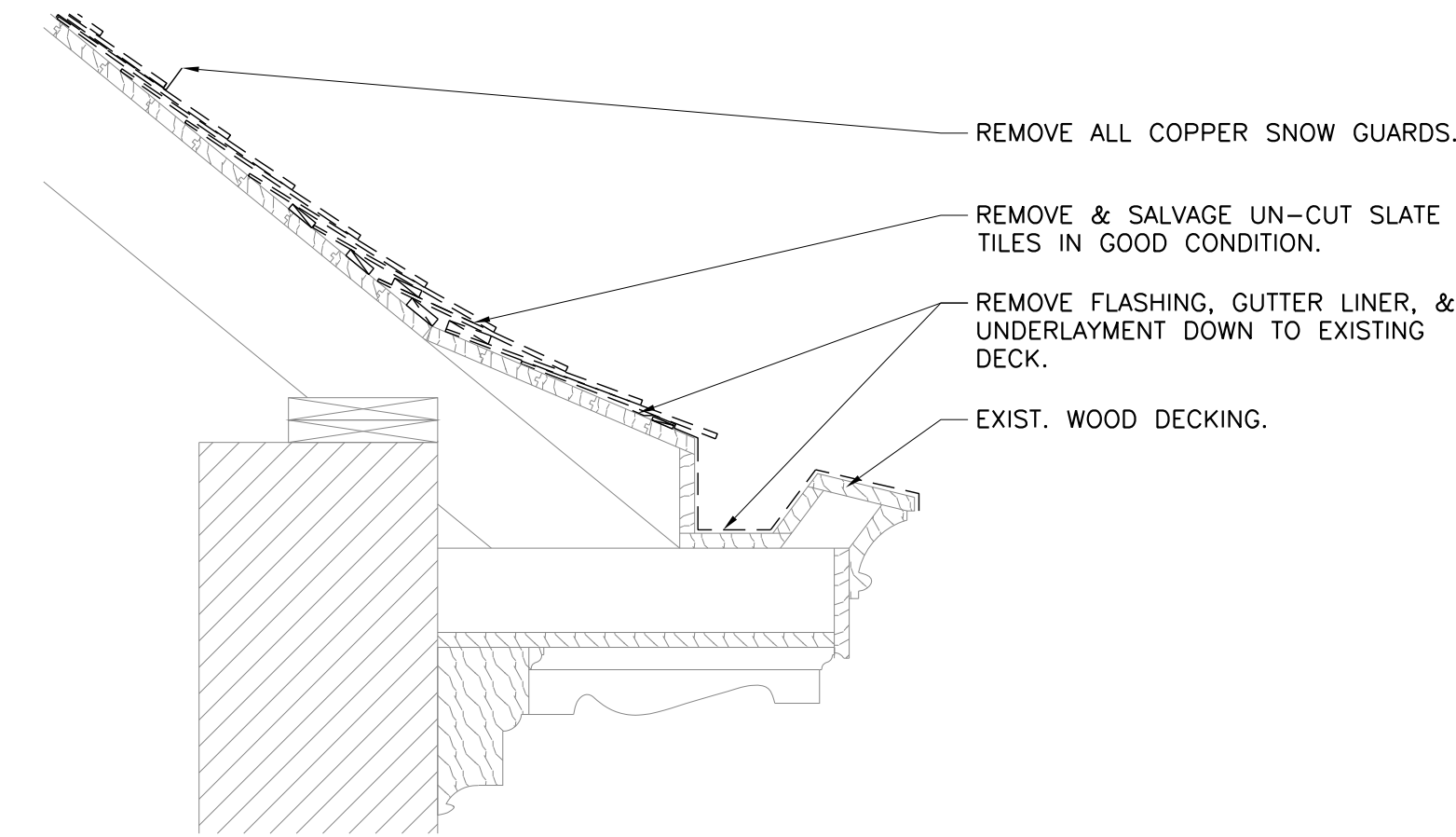
DEMO SECTION-- DORMER ROOF RIDGE

SCALE: 1 1/2"=1'-0"



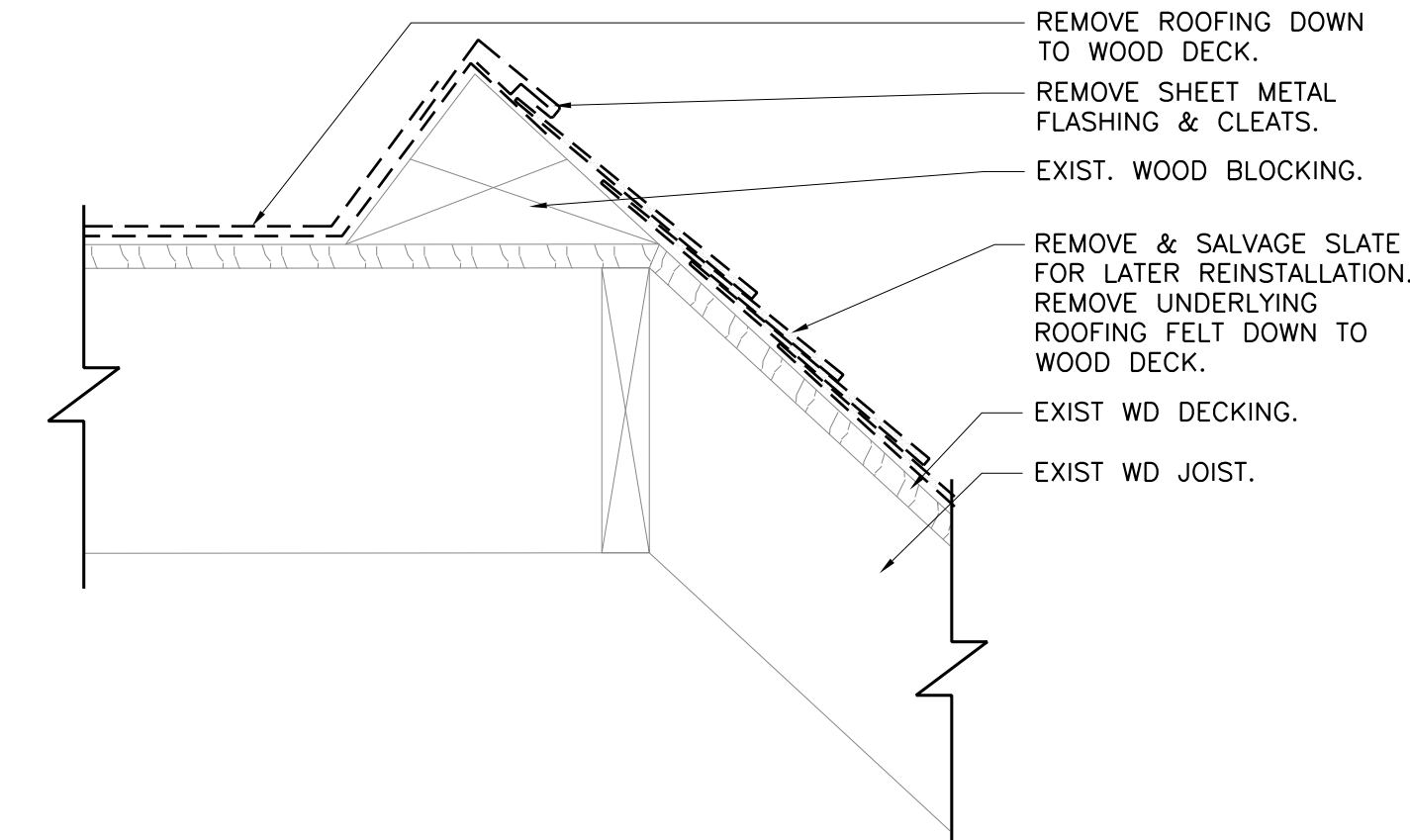
DEMO SECTION--MAIN ROOF CHIMNEY

SCALE: 1"=1'-0"



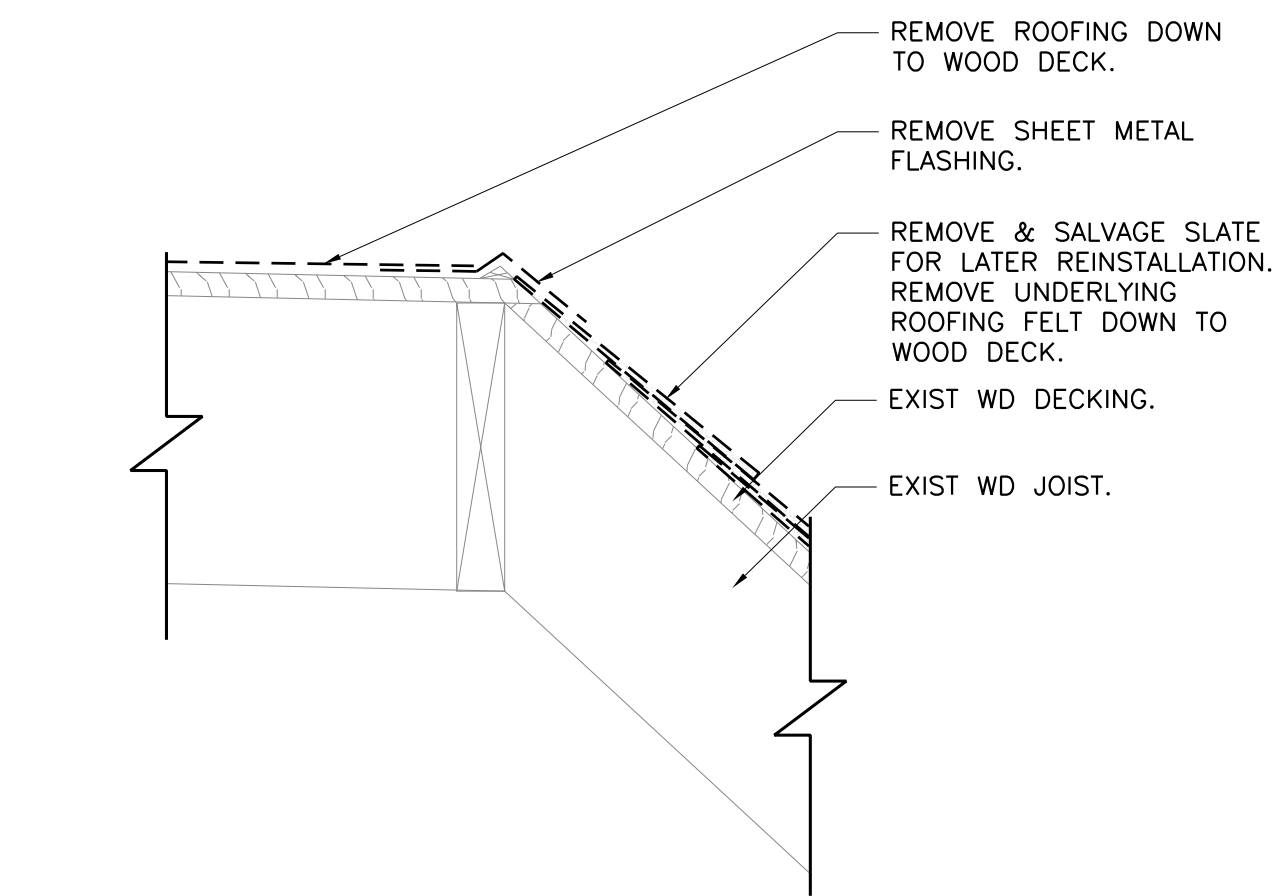
DEMO SECTION--MAIN ROOF EDGE

SCALE: 1"=1'-0"



DEMO SECTION--MAIN ROOF

SCALE: 1 1/2"=1'-0"



DEMO SECTION--MAIN ROOF

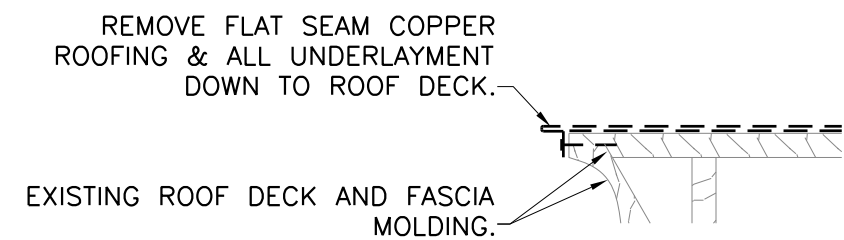
SCALE: 1 1/2"=1'-0"

1 NOT USED

SCALE: 1"=1'-0"

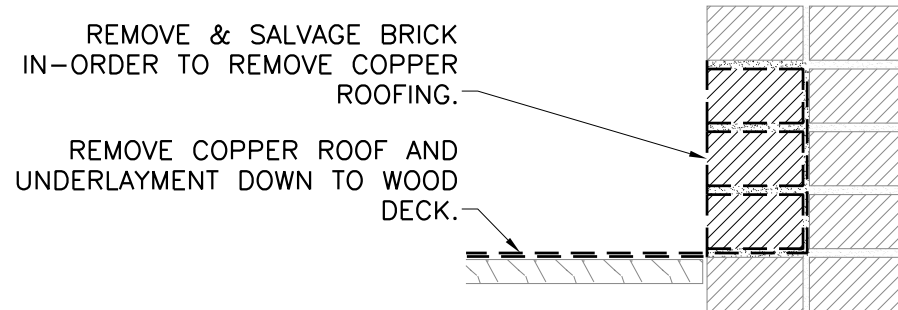
2 NOT USED

SCALE: 1 1/2"=1'-0"



3 DEMO SECTION--ENTRY PORCH ROOF

SCALE: 1 1/2"=1'-0"



4 DEMO SECTION--ENTRY PORCH ROOF

SCALE: 1 1/2"=1'-0"

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REVISION			
RECORD DRAWING CERTIFICATION			
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CONTRACTOR		PROJECT COORDINATOR	
NAME	DATE	NAME	DATE
SIGNATURE	SIGNATURE	SIGNATURE	SIGNATURE
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING		CONTRACT NUMBER 15-556	
MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK		SHEET NUMBER AD5.02	
DEMO DETAILS & REF. PHOTOS		SHEET NO. 14 OF 30	
		SCALE: AS SHOWN DATE: 06/07/19	
		DPW FILE NO. 92-01-A-41-0	
		REV. NO. 0	

*PHOTOS PROVIDED FOR REFERENCE ONLY.

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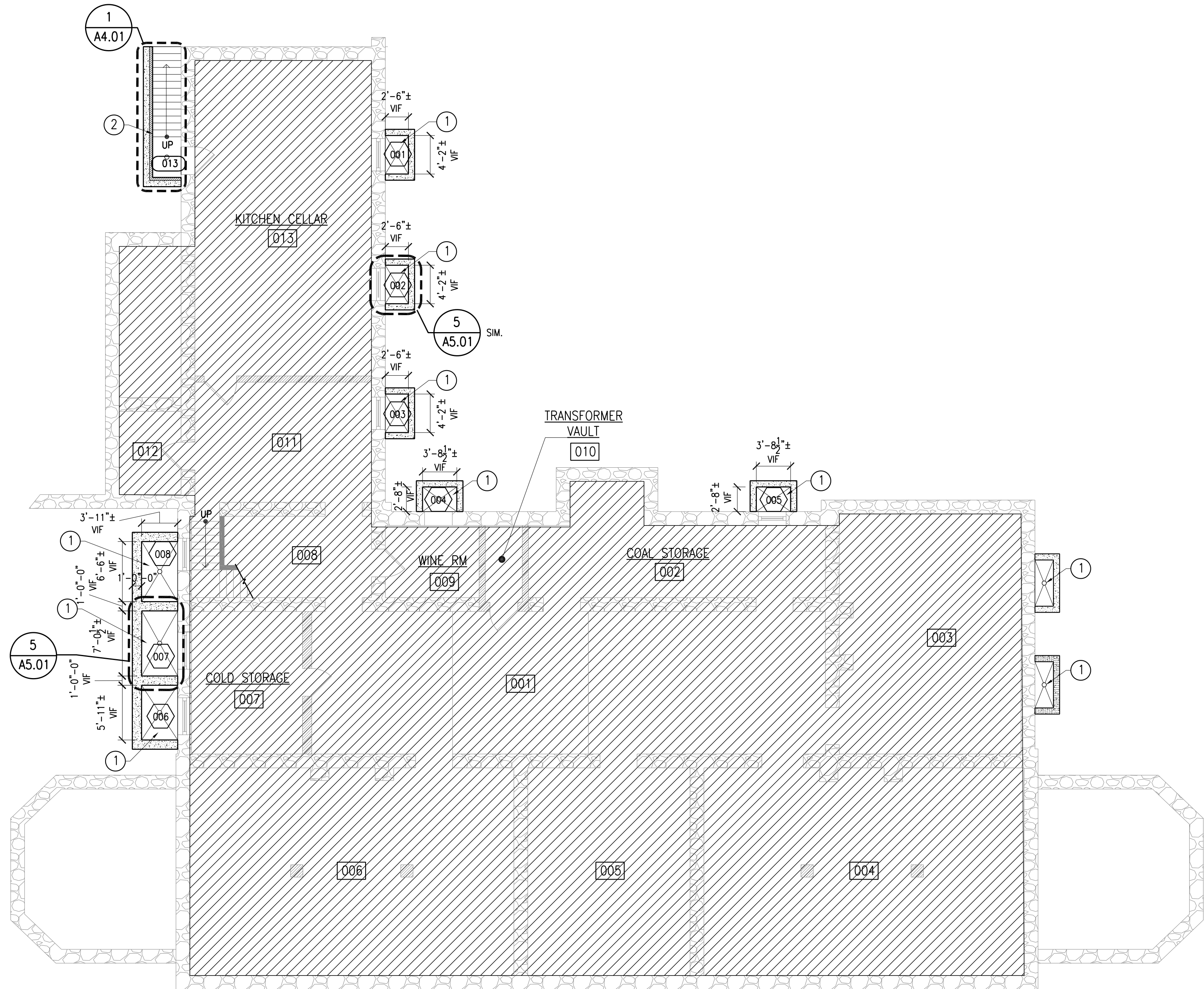
IN CHARGE OF _____

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MADE BY _____

12 NOT USED

SCALE: 1"=1'-0"



1 BASEMENT PLAN
SCALE: 1/8"=1'-0"

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
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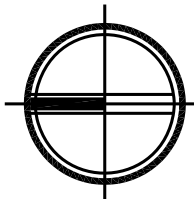
- LEGEND:**
- EXISTING ELEMENTS TO REMAIN.
 - NEW CONSTRUCTION
 - EXISTING BRICK MASONRY WALL
 - NEW BRICK MASONRY WALL
 - EXISTING STONE RUBBLE WALL
 - EXISTING STUD WALL
 - EXISTING QUARRY TILE
 - NOT IN CONTRACT -- NO INTERIOR SCOPE UNLESS INDICATED OTHERWISE ON DRAWINGS.
 - PRESERVATION KEYNOTE
 - PHOTO KEY
 - DOOR #. REFER TO DOOR SCHEDULE ON SHEET A6.02.
 - WINDOW #. REFER TO WINDOW SCHEDULE ON SHEET A6.01.

GENERAL NOTES:
REFER TO SHEET G0.01 FOR ALL GENERAL SCOPE NOTES.

PRESERVATION KEYNOTES (THIS SHEET ONLY):

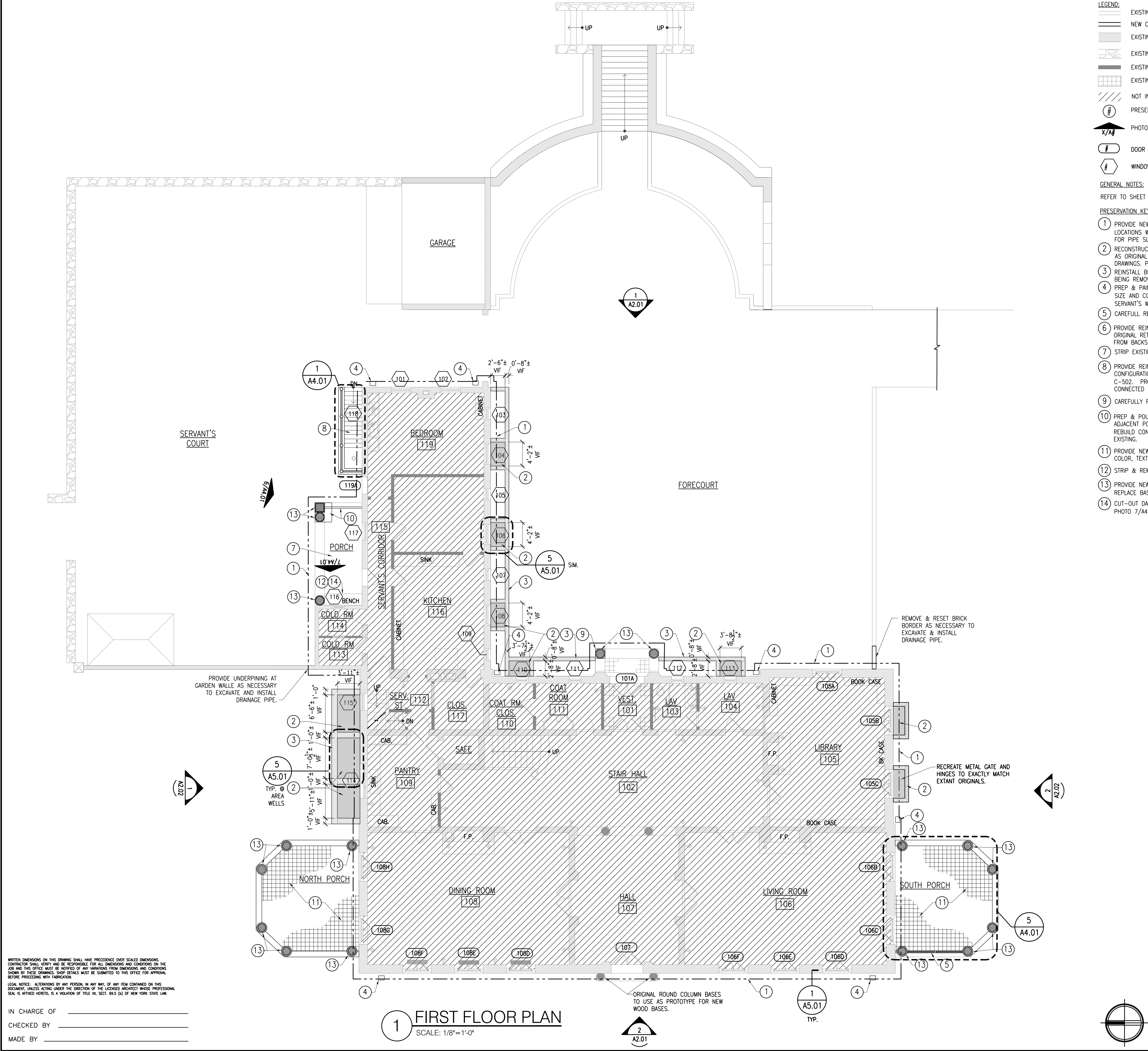
- RECONSTRUCT AREA WELLS WITH REINFORCED CONCRETE WALLS AND SLAB WITH BRICK TOP COURSE IN EXACT LOCATION, SIZE, AND CONFIGURATION AS ORIGINAL WELLS. DIMENSIONS GIVEN ARE THOSE FOR THE INSIDE FACE OF THE EXISTING AREA WELL WALLS. PROVIDE DRAIN AT BOTTOM OF AREA WELLS. DRAINS TO CONNECT TO PERIMETER DRAINAGE SYSTEM.
- PROVIDE REINF. CONC. RETAINING WALLS W/ SALVAGED BRICK FACING. PROVIDE NEW CONCRETE STAIRS TO MATCH SIZE AND CONFIGURATION OF ORIGINAL. PROVIDE NEW DRAIN AT FLOOR SLAB. DRAINS TO CONNECT TO PERIMETER DRAINAGE SYSTEM.

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SIGNATURE		SIGNATURE	
TITLE		TITLE	
WESTCHESTER COUNTY, NEW YORK		CONTRACT NUMBER	SHEET NUMBER
DEPARTMENT OF PUBLIC WORKS		15-556	A1.01
DIVISION OF ENGINEERING		SHEET NO. 15 OF 30	
MAIN HOUSE REHABILITATION - MERESTEAD		SCALE: 1/8" = 1'-0"	
BEDFORD AND NEW CASTLE, NEW YORK		DATE: 06/07/19	
DPW FILE NO.		REV. NO.	
92-01-A-42-0		0	
BASEMENT FLOOR PLAN			



- LEGEND:
- EXISTING ELEMENTS TO REMAIN.
 - NEW CONSTRUCTION
 - EXISTING BRICK MASONRY WALL
 - EXISTING STONE RUBBLE WALL
 - EXISTING STUD WALL
 - EXISTING QUARRY TILE
 - NOT IN CONTRACT -- NO INTERIOR SCOPE UNLESS INDICATED OTHERWISE ON DRAWINGS.
 - PRESERVATION KEYNOTE
 - PHOTO KEYNOTE
 - DOOR #. REFER TO DOOR SCHEDULE ON SHEET A6.02.
 - WINDOW #. REFER TO WINDOW SCHEDULE ON SHEET A6.01.

- GENERAL NOTES:
- REFER TO SHEET G0.01 FOR ALL GENERAL SCOPE NOTES.
- PRESERVATION KEYNOTES (THIS SHEET ONLY):
- PROVIDE NEW PERIMETER DRAINAGE TILE. DRAINAGE TILE IS TO BE TIED INTO NEW PERIMETER DRAINAGE SYSTEM. PROVIDE PIPE SLEEVE AT ALL LOCATIONS WHERE DRAINAGE PIPE FOR WINDOW & STAIRWELLS OR FRENCH DRAIN PIPING PENETRATES THE FOUNDATION WALL. REFER TO DWG 7/A5.01 FOR PIPE SLEEVE DETAIL. REFER TO AKRF CIVIL DOCUMENTS.
 - RECONSTRUCT AREA WELLS WITH REINFORCED CONCRETE WALLS AND SLAB WITH BRICK TOP COURSE IN EXACT LOCATION, SIZE, AND CONFIGURATION AS ORIGINAL WELLS. PROVIDE DRAIN AT BOTTOM OF AREA WELLS. DRAINS TO CONNECT TO PERIMETER DRAINAGE SYSTEM. REFER TO AKRF CIVIL DRAWINGS. PREP, PAINT & REINSTALL GRATES.
 - REINSTALL BRICK BORDER/EDGING IN EXACT LOCATION AND CONFIGURATION AS ORIGINAL. STRAIGHTEN ALL DISPLACED BRICK EDGING THAT IS NOT BEING REMOVED.
 - PREP & PAINT (BLACK) CAST IRON GUTTER RECEIVERS & REINSTALL IN THEIR ORIGINAL LOCATIONS. PROVIDE NEW COPPER DOWNSPOUTS THAT MATCH SIZE AND CONFIGURATION OF ORIGINALS (INCLUDING OFFSETS & CLEANOUT TRAPS). DOWNSPOUTS TYP. 4" X 6" AT HOUSE AND 3" X 4" AT SERVANT'S WING.
 - CAREFULLY REINSTALL WOOD paneled & GLASS WALL AT PORCH AFTER PAVER WORK IS COMPLETE.
 - PROVIDE REINFORCED CONCRETE AND BRICK MASONRY RETAINING WALL TO MATCH EXACT CONFIGURATION, DIMENSIONAL LAYOUT, BRICK BOND AS ORIGINAL RETAINING WALL. RETAINING WALL IS TO USE ALL SALVAGED BRICK IN GOOD CONDITION. REPLACE ALL DAMAGED FACE BRICK WITH BRICK FROM BACKSIDE OF WALL. CLEAN ALL BRICK RETAINING WALLS AFTER INSTALLATION TO REMOVE ALL BIOLOGICAL STAINING AND EFFLORESCENCE.
 - STRIP EXISTING PAINT AT SERVANT'S PORCH ON NORTH ELEVATION. PREP AND PAINT. PAINT COLOR AND GLOSS TO MATCH THE EXISTING.
 - PROVIDE REINF. CONC. RETAINING WALLS W/ SALVAGED BRICK FACING. PROVIDE NEW CONCRETE STAIRS & SLAB TO MATCH SIZE AND CONFIGURATION OF ORIGINAL. PROVIDE NEW DRAIN AT FLOOR SLAB. DRAINS TO CONNECT TO PERIMETER DRAINAGE SYSTEM. REFER TO DWG C-502. PROVIDE NEW 12" W X 58" L X 3" H (VIF ALL DIMS) BLUESTONE COPING UNIT WHERE MISSING. PROVIDE NEW DRAIN IN SLAB TO BE CONNECTED TO PERIMETER DRAINAGE SYSTEM. PREP & PAINT AND REINSTALL SALVAGED METAL RAILINGS.
 - CAREFULLY REMOVE & RESET DISPLACED MARBLE SLAB.
 - PREP & POUR NEW CONCRETE PORCH SLAB. CONCRETE TO MATCH COLOR, AGGREGATE, AND TEXTURE OF THE EXISTING CLEANED STRIPPED ADJACENT PORCH CONCRETE. REINSTALL WOOD COLUMNS & BALUSTER IN THEIR ORIGINAL LOCATION. PREP & PAINT COLUMNS & BALUSTER. REBUILD CONCRETE WASH/GUTTER AT PERIMETER OF PORCH IF DAMAGED DURING CONSTRUCTION. CONCRETE WASH/GUTTER TO EXACTLY MATCH EXISTING.
 - PROVIDE NEW CRUSHED STONE AND CONCRETE SLAB IN FIELD TILE AREA. PROVIDE NEW MORTAR BED AND CUSTOM CLAY TILES THAT EXACTLY MATCH COLOR, TEXTURE, AND SIZE OF THE ORIGINALS. REINSTALL WOOD STAVE COLUMNS IN EXACT LOCATION AS ORIGINALS.
 - STRIP & REMOVE CORROSION FROM WOOD BENCH BUTT-HINGES. PREP & PAINT AND REINSTALL HINGES.
 - PROVIDE NEW ROUND WOOD BASE TO MATCH SIZE & PROFILE OF THE HISTORIC WOOD ROUND COLUMN BASES AT WEST ENTRY DOORS. REMOVE & REPLACE BASE AT SQUARE COLUMN ON SERVANT'S PORCH TO EXACTLY MATCH THE EXISTING. PREP & PAINT.
 - CUT-OUT DAMAGED WOOD BASE TRIM AT WOOD BENCH. PROVIDE NEW WOOD TRIM TO MATCH SIZE AND PROFILE OF THE EXISTING TRIM. REFER TO PHOTO 7/A4.01.



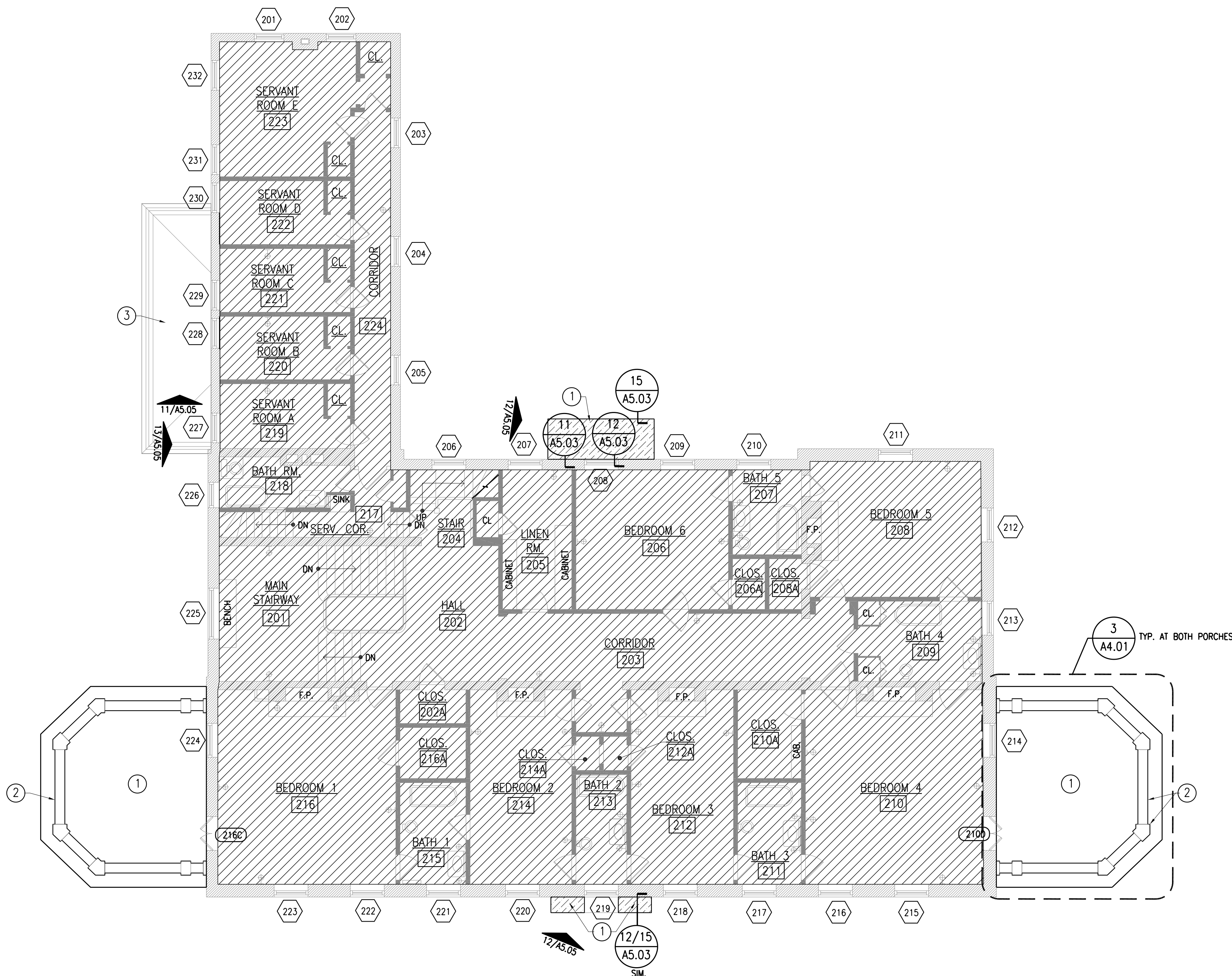
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NAME	DATE	NAME	DATE
SIGNATURE		SIGNATURE	
TITLE		TITLE	
WESTCHESTER COUNTY, NEW YORK		CONTRACT NUMBER	SHEET NUMBER
DEPARTMENT OF PUBLIC WORKS		15-556	A1.02
DIVISION OF ENGINEERING		SHEET NO. 16 OF 30	
MAIN HOUSE REHABILITATION - MERESTAD		SCALE: 1/8" = 1'-0"	
BEDFORD AND NEW CASTLE, NEW YORK		DATE: 06/07/19	
FIRST FLOOR PLAN		DPW FILE NO.	REV. NO.
		92-01-A-43-0	0

- LEGEND:
- EXISTING ELEMENTS TO REMAIN.
 - NEW CONSTRUCTION
 - EXISTING BRICK MASONRY WALL
 - EXISTING STONE RUBBLE WALL
 - EXISTING STUD WALL
 - NOT IN CONTRACT -- NO INTERIOR SCOPE UNLESS INDICATED OTHERWISE ON DRAWINGS.
 - PRESERVATION KEYNOTE
 - PHOTO KEYNOTE
 - DOOR #. REFER TO DOOR SCHEDULE ON SHEET A6.02.
 - WINDOW #. REFER TO WINDOW SCHEDULE ON SHEET A6.01.

GENERAL NOTES:
REFER TO SHEET G0.01 FOR GENERAL SCOPE NOTES.

PRESERVATION KEYNOTES (THIS SHEET ONLY):

- REPLACE ALL DAMAGED AND ROTTED DECKING. PROVIDE NEW FLAT SEAM COPPER ROOF.
- REINSTALL SALVAGED/NEW WOOD BALUSTRADE. PREP & PAINT.

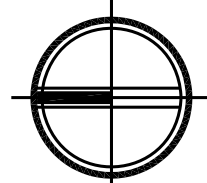


1 SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

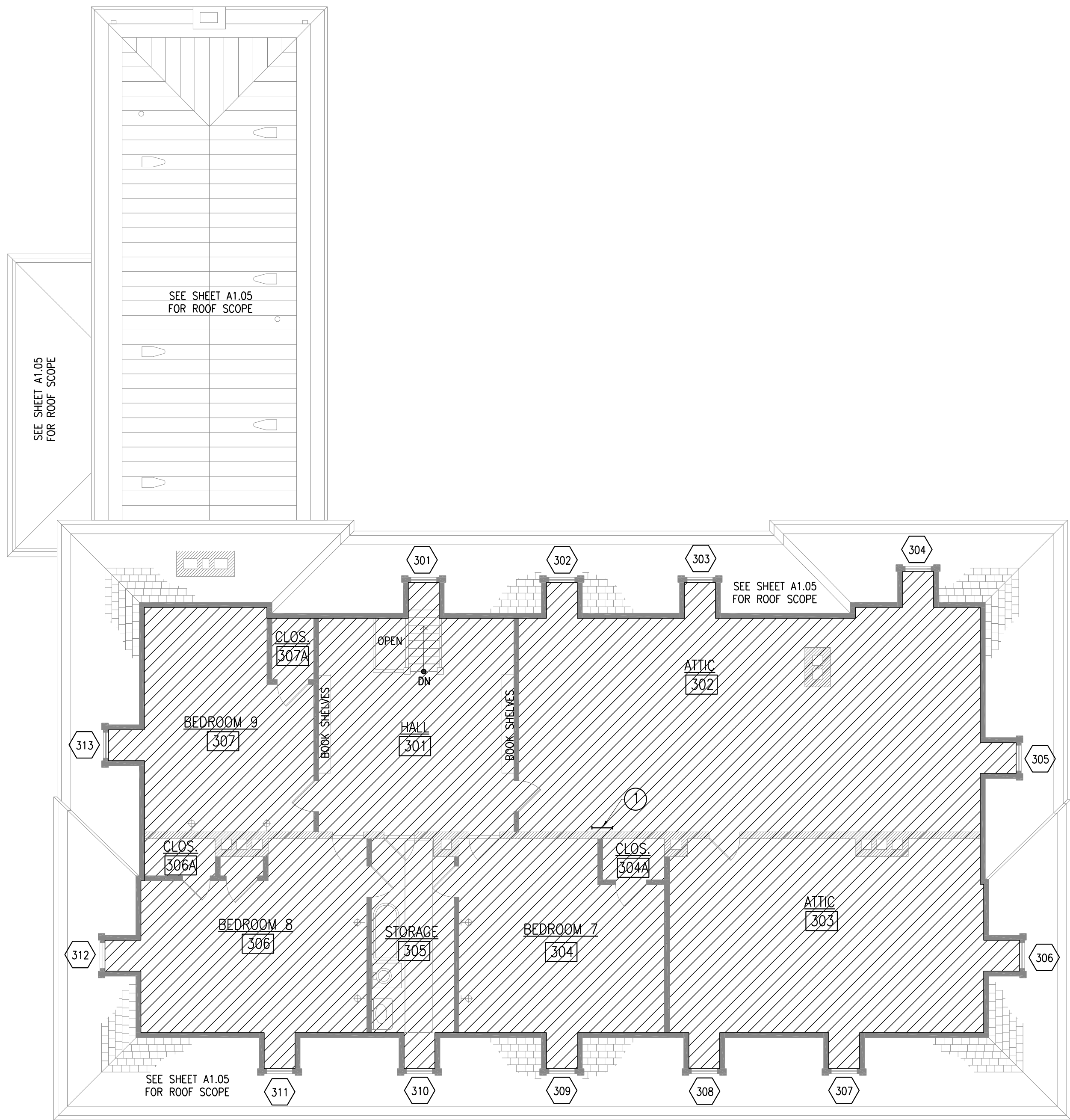
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WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING		CONTRACT NUMBER 15-556	SHEET NUMBER A1.03	
MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK		SHEET NO. 17 OF 30		
SCALE: 1/8"=1'-0" DATE: 06/07/19		DPW FILE NO.	REV. NO.	
SECOND FLOOR PLAN		92-01-A-44-0	0	



1 THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"

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IN CHARGE OF _____
CHECKED BY _____
MADE BY _____

- LEGEND:**
- EXISTING ELEMENTS TO REMAIN.
 - NEW CONSTRUCTION
 - BRICK MASONRY WALL
 - STUD WALL
 - FLAT SEAM COPPER ROOF
 - NOT IN CONTRACT -- NO INTERIOR SCOPE UNLESS INDICATED OTHERWISE ON DRAWINGS.
 - PRESERVATION KEYNOTE
 - DOOR #. REFER TO DOOR SCHEDULE ON SHEET A6.02.
 - WINDOW #. REFER TO WINDOW SCHEDULE ON SHEET A6.01.

GENERAL NOTES:
REFER TO SHEET G0.01 FOR GENERAL SCOPE NOTES.

PRESERVATION KEYNOTES (THIS SHEET ONLY):

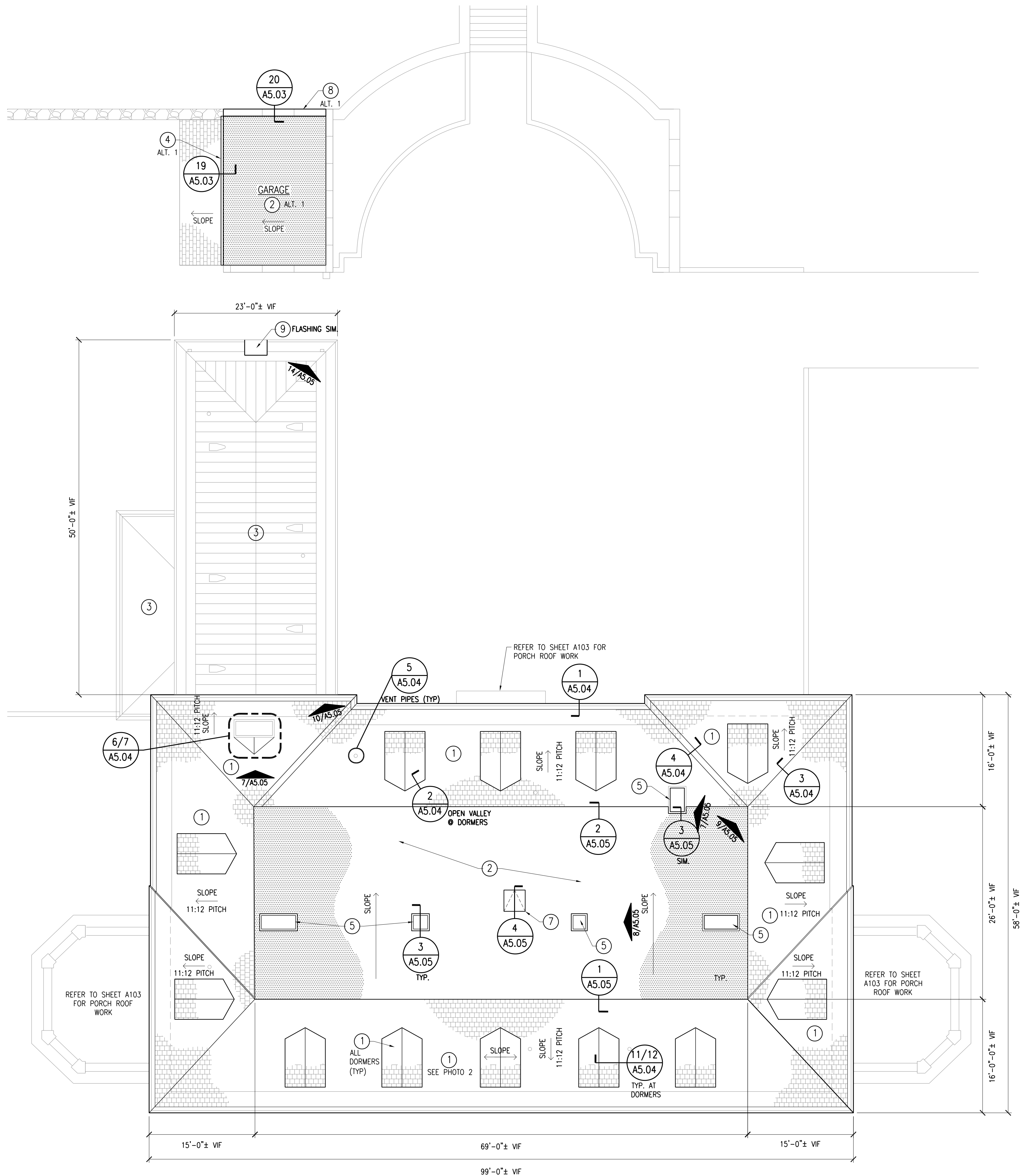
- 1 PROVIDE NEW STEEL LADDER TO ROOF ACCESS DOOR.



KG&D architects

kaeyer, garment & davidson architects, pc
285 main street mount kisco, new york 10549
p: 914.666.5900 f: 914.666.0051 kgdarchitects.com

1	06/07/19	RC	EK	ISSUED FOR BID
REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION
RECORD DRAWING CERTIFICATION				
<input type="checkbox"/> AS BUILT - CHANGES AS NOTED <input type="checkbox"/> AS BUILT - NO CHANGES				
CONTRACTOR		PROJECT COORDINATOR		
NAME	_____	NAME	_____	
SIGNATURE	_____	SIGNATURE	_____	
TITLE	_____	TITLE	_____	
DATE		DATE		
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING				CONTRACT NUMBER 15-556
				SHEET NUMBER A1.04
MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK				SHEET NO. 18 OF 30
THIRD FLOOR PLAN				SCALE: 1/8" = 1'-0" DATE: 06/07/19 DPW FILE NO. 92-01-A-45-0 REV. NO. 0



- LEGEND:
- EXISTING ELEMENTS TO REMAIN.
 - NEW CONSTRUCTION
 - SLATE ROOF
 - MEMBRANE ROOF
 - PRESERVATION KEYNOTE
 - PHOTO KEYNOTE

GENERAL NOTES:
REFER TO SHEET G0.01 FOR GENERAL SCOPE NOTES.

PRESERVATION KEYNOTES (THIS SHEET ONLY):

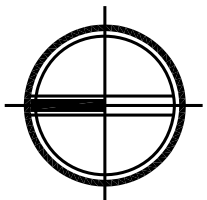
1. INSTALL NEW (ASSUME APPROXIMATELY 25%) & SALVAGED (ASSUME APPROXIMATELY 75%) SLATE. INSTALL NEW COPPER FLASHING. REPLACE ALL DAMAGED, ROTTED AND MISSING GUTTERS, SUBSTRATE AND ROOF DECK.
2. INSTALL NEW MEMBRANE ROOFING. REPLACE ALL DAMAGED, ROTTED, & MISSING SUBSTRATE AND ROOF DECK. PROVIDE NEW ALUMINUM GUTTER & DOWNSPOUT TO MATCH THE EXISTING. (ALTERNATE 1: PROVIDE NEW MEMBRANE ROOF AT GARAGE).
3. PROVIDE AN ALLOWANCE FOR 25 LINEAL FEET OF SOLDER REPAIRS AT COPPER JOINTS AT BOTH THE SERVANT'S WING AND SERVANT'S WING PORCH ROOF.
4. ALTERNATE 1: PROVIDE NEW ALUM. GUTTER & DOWNSPOUT AT GARAGE.
5. DOCUMENT & CAREFULLY DISASSEMBLE BRICK CHIMNEY DOWN TO ROOF DECK, REBUILD CHIMNEY, USING SALVAGED BRICK, TO EXACTLY MATCH ORIGINAL CHIMNEY SIZE AND CONFIGURATION. PROVIDE COPPERY FLUE ENCLOSURE.
6. PROVIDE NEW STANDING SEAM COPPER ROOF. REPLACE ALL DAMAGED, ROTTED, AND MISSING GUTTERS, SUBSTRATE AND ROOF DECK.
7. PROVIDE NEW 36" X 36" ROOF ACCESS DOOR AND INSULATED CURB. RE-FRAME AROUND OPENING AS NECESSARY TO INSTALL ACCESS DOOR.
8. ALTERNATE 1: REPOINT MARBLE PARAPET COPING WITH SEALANT TO MATCH COLOR OF CLEANED MARBLE. CLEAN ALL MARBLE COPING UNITS.
9. PROVIDE COPPER CHIMNEY FLU ENCLOSURE.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

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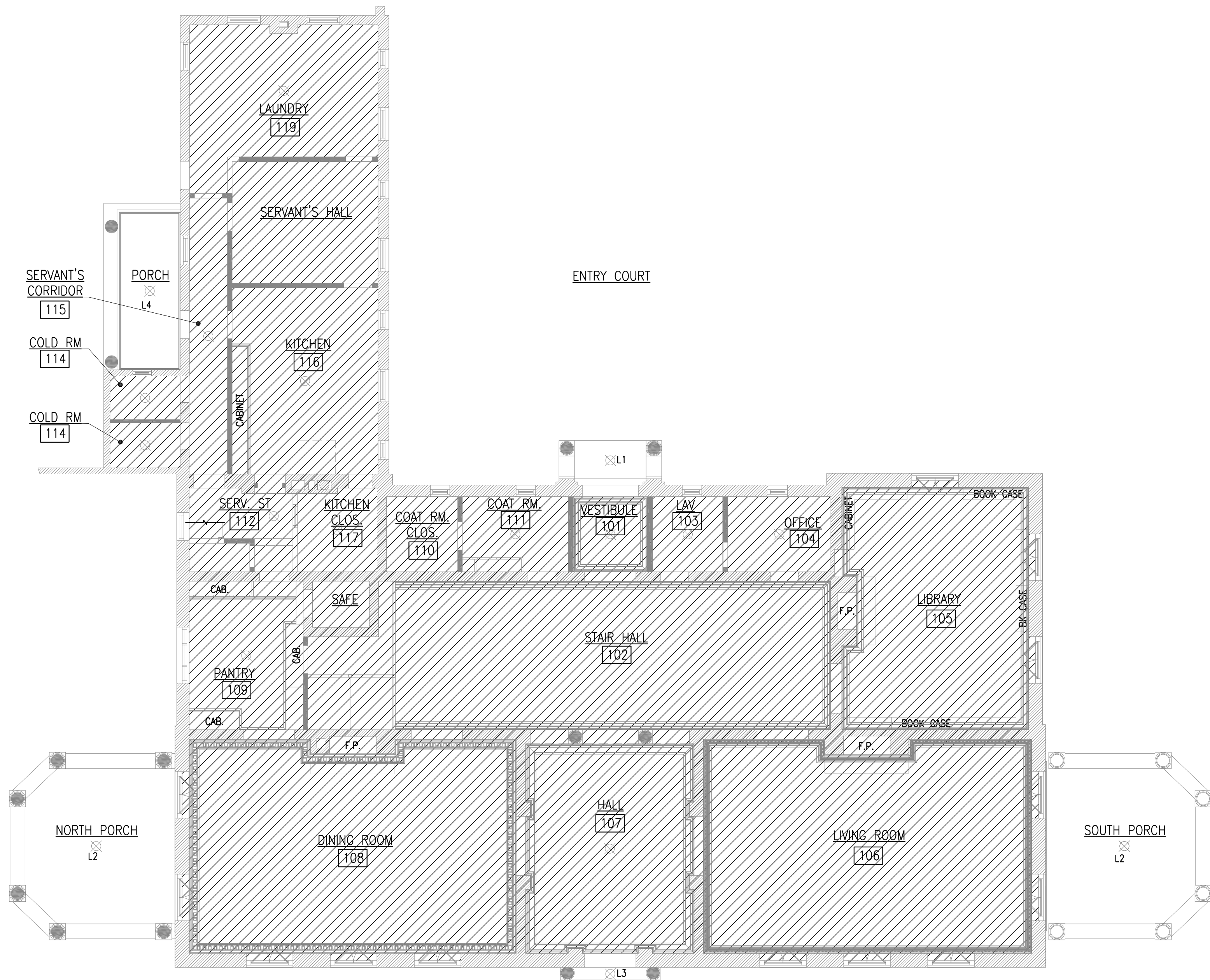
IN CHARGE OF _____
CHECKED BY _____
MADE BY _____

1 ROOF PLAN
SCALE: 1/8"=1'-0"



		kayser, garment & davidson architects, pc 285 main street, mount kisco, new york 10549 p: 914.666.5900 f: 914.666.0051 kgdarchitects.com	
1	06/07/19	RC	EK
REVISION NUMBER	DATE	MADE BY	APP'D BY
ISSUED FOR BID			
REVISION			
RECORD DRAWING CERTIFICATION			
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CONTRACTOR		PROJECT COORDINATOR	
NAME _____	NAME _____		
SIGNATURE _____	SIGNATURE _____		
TITLE _____	TITLE _____		
WESTCHESTER COUNTY, NEW YORK		CONTRACT NUMBER	SHEET NUMBER
DEPARTMENT OF PUBLIC WORKS		15-556	A1.05
DIVISION OF ENGINEERING		SHEET NO. 19 OF 30	
MAIN HOUSE REHABILITATION - MERESTEAD		SCALE: 1/8" = 1'-0"	
BEDFORD AND NEW CASTLE, NEW YORK		DATE: 06/07/19	
		DPW FILE NO.	REV. NO.
		92-01-A-46-0	0
ROOF PLAN			

- LEGEND:
- EXISTING ELEMENTS TO REMAIN.
 - NEW CONSTRUCTION
 - EXISTING BRICK MASONRY WALL
 - EXISTING STONE RUBBLE WALL
 - EXISTING STUD WALL
 - NOT IN CONTRACT -- NO INTERIOR SCOPE UNLESS INDICATED OTHERWISE ON DRAWINGS.
 - EXISTING LIGHT FIXTURE AND TYPE. REFER TO SHEET A6.02 FOR LIGHT FIXTURE SCHEDULE & TYPES.

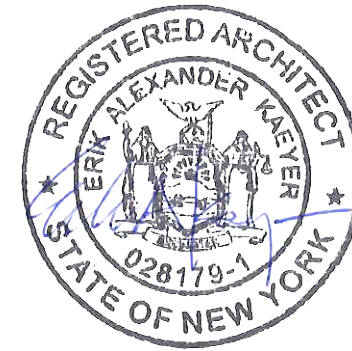


1 FIRST FLOOR RCP
SCALE: 1/8"=1'-0"
NOTE: RCP SHOWS LOCATION OF EXISTING EXTERIOR LIGHT FIXTURES.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
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CHECKED BY _____
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kaeyer, garment & davidson architects, pc
285 main street mount kisco, new york 10549
p: 914.666.5900 f: 914.666.0051 kgdarchitects.com

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SIGNATURE		SIGNATURE		
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WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING				CONTRACT NUMBER 15-556
MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK				SHEET NUMBER A1.06
FIRST FLOOR RCP				SHEET NO. 20 OF 30
				SCALE: 1/8" = 1'-0" DATE: 06/07/19
				DPW FILE NO. 92-01-A-47-0
				REV. NO. 0



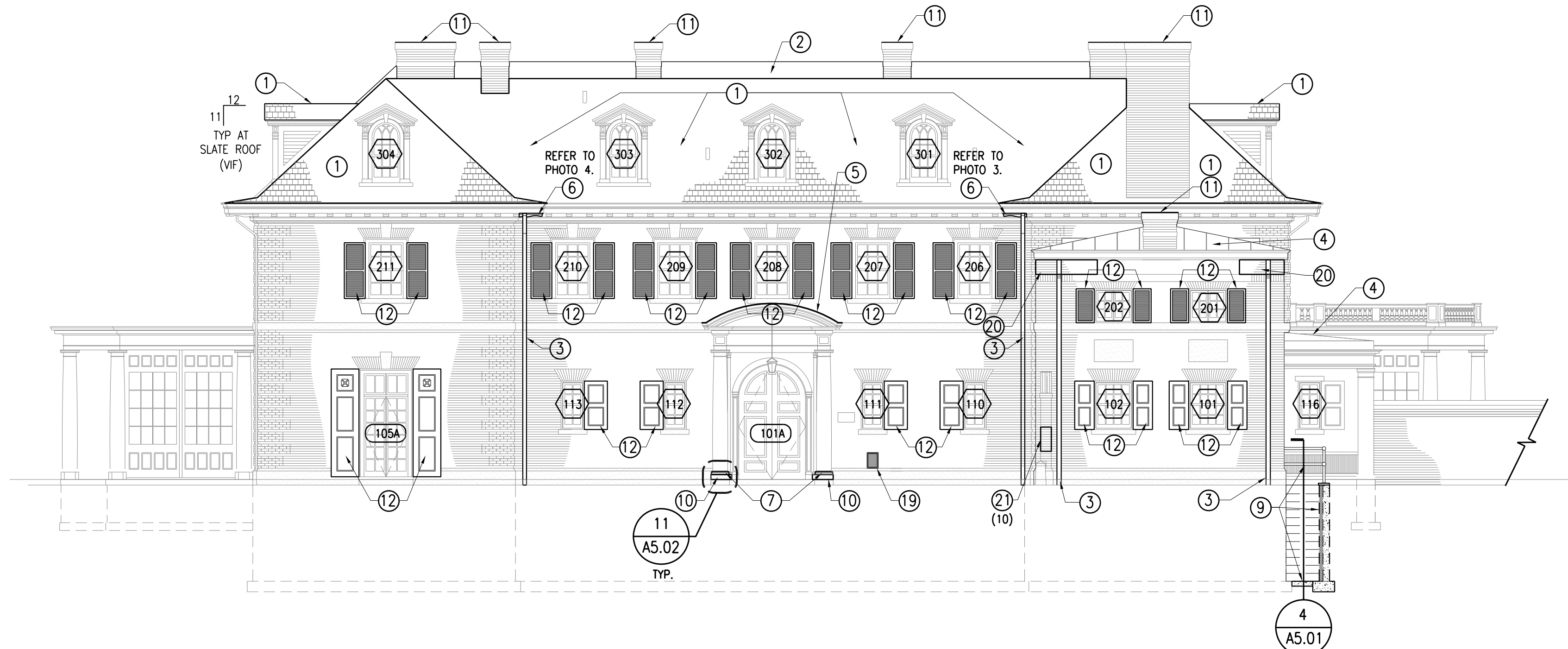
3 PHOTO OF WOOD SOFFIT DAMAGE
NTS



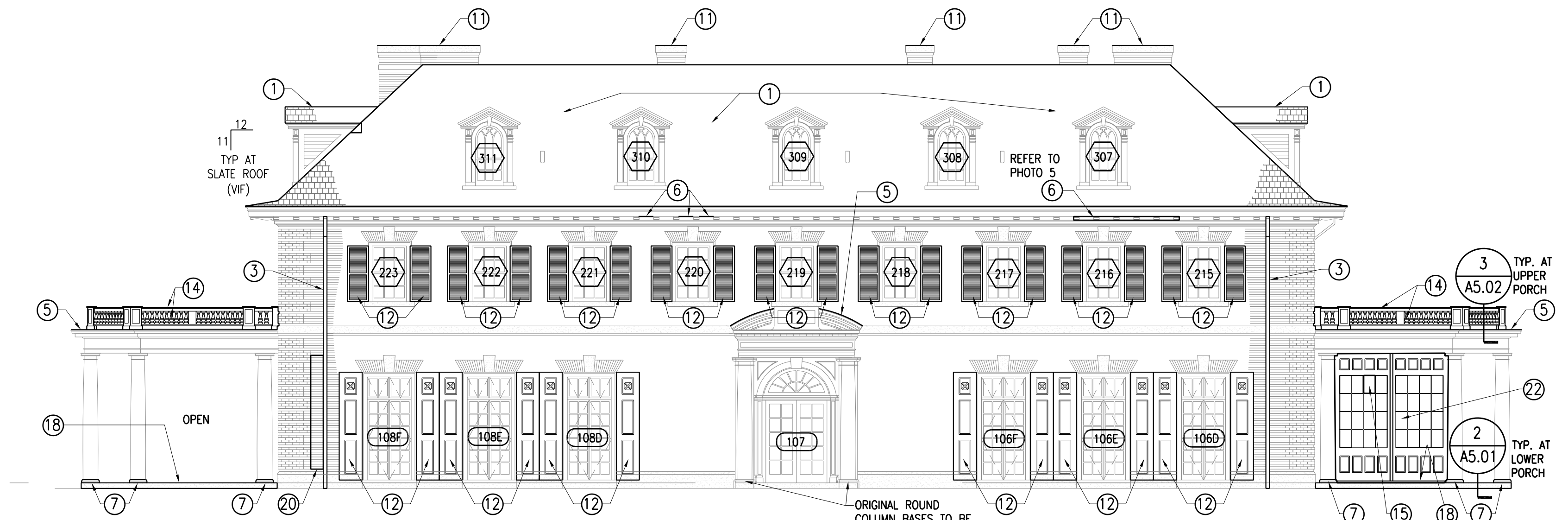
4 PHOTO OF WOOD SOFFIT DAMAGE
NTS



5 PHOTO OF WOOD SOFFIT DAMAGE
NTS
PHOTOS ARE FOR REFERENCE ONLY.



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

NOT USED

3 WEST GARAGE ELEVATION
SCALE: 3/8" = 1'-0"

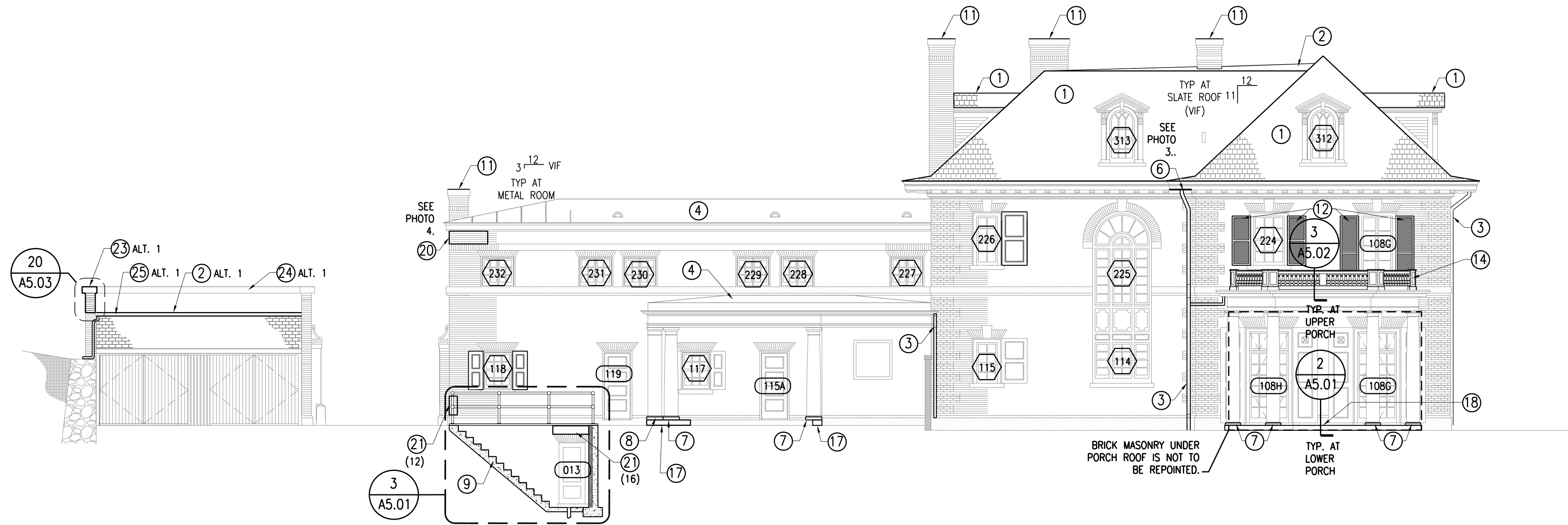
- LEGEND:
- EXISTING ELEMENTS TO REMAIN.
 - NEW CONSTRUCTION
 - EXISTING MARBLE
 - EXISTING BRICK
 - SLATE ROOF
 - PRESERVATION KEYNOTE
- DOOR #: REFER TO DOOR SCHEDULE ON SHEET A6.02.
- WINDOW #: REFER TO WINDOW SCHEDULE ON SHEET A6.01.
- GENERAL NOTES:
- REFER TO SHEET G0.01 FOR GENERAL EXTERIOR SCOPE OF WORK NOTES.
 - ASSUME APPROXIMATELY 10% OF WOOD SOFFIT ELEMENTS (BEYOND WHAT IS SHOWN) WILL BE REPLACED IN-KIND. PHOTOS OR EXISTING SOFFIT SHOW TYPICAL DAMAGE IN-ORDER FOR THE CONTRACTOR TO BETTER UNDERSTAND THE EXTENT OF REPAIRS AND ELEMENTS TO BE REPLACED.
 - INSERT BORATE RODS INTO LOWER 2' OF ALL WOOD STAVE COLUMNS AND BASES. PROVIDE WOOD PLUG OVER ALL HOLES. PLUGS TO BE FLUSH WITH ADJACENT SURFACE SO INVISIBLE WHEN PAINTED. SIZE OR RODS & SPACING ARE TO BE PER MANUFACTURER'S SPECIFICATIONS.
- PRESERVATION KEYNOTES:
- INSTALL NEW (ASSUME APPROXIMATELY 25%) & SALVAGED (ASSUME APPROXIMATELY 75%) SLATE. INSTALL NEW COPPER FLASHING. REPLACE ALL DAMAGED, ROTTED AND MISSING GUTTERS, SUBSTRATE AND ROOF DECK.
 - INSTALL NEW MEMBRANE ROOFING. REPLACE ALL DAMAGED, ROTTED, AND MISSING SUBSTRATE AND ROOF DECK. PROVIDE NEW GUTTER & DOWNSPOUTS TO MATCH EXISTING. ALTERNATE 1: PROVIDE MEMBRANE ROOF AT GARAGE.
 - PROVIDE NEW COPPER GUTTER LINER AND DOWNSPOUTS THAT MATCH SIZE & PROFILE OF THE EXISTING. REPLICATE ALL EXISTING DOWNSPOUT OFFSETS & CLEANOUTS. PROVIDE NEW DOWNSPOUT HANGERS THAT MATCH ARCHITECT'S SAMPLE (SEE 15/A5.05). TYP. DOWNSPOUT AT HOUSE ARE 4" X 6" AND 3" X 4" AT SERVANT'S WING. REPLACE ALL DAMAGED, ROTTED, AND MISSING GUTTERS, SUBSTRATE AND ROOF DECK. CONNECT DOWNSPOUTS TO NEW PERIMETER UNDERGROUND DRAINAGE SYSTEM. REFER TO AKRF CIVIL DRAWINGS.
 - PROVIDE AN ALLOWANCE FOR 25 LINEAL FEET OF SOLDER REPAIRS AT COPPER JOINTS AT BOTH THE SERVANT'S WING AND SERVANT'S WING PORCH ROOF.
 - PROVIDE FLAT SEAM COPPER ROOF TO MATCH EXISTING. INSPECT AND REPLACE ALL DAMAGED ROOF DECK.
 - PROVIDE NEW WOOD SOFFIT ELEMENTS AT AREAS OF WOOD ROT OR WHERE ELEMENTS ARE MISSING. PREP & PAINT. ASSUME APPROXIMATELY 10% OF THE ELEMENTS ON THE ENTIRE SOFFIT (BEYOND WHAT IS SHOWN) WILL BE REPLACED. NEW WOOD SOFFIT ELEMENTS ARE TO EXACTLY MATCH SIZE & PROFILE OF THE EXISTING. REPLACE ALL DAMAGED, ROTTED, AND MISSING DECKING & FRAMING.
 - PROVIDE ROUND WOOD COLUMN BASES TO MATCH SIZE & PROFILE OF EXTANT ORIGINALS AT WEST ENTRY DOORS (D107). PREP & PAINT.
 - PROVIDE SQUARE WOOD COLUMN BASES TO MATCH SIZE & PROFILE OF EXISTING. PREP & PAINT.
 - PROVIDE REINF. CONC. RETAINING WALLS W/ SALVAGED BRICK FACING. PROVIDE NEW CONCRETE STAIRS & SLAB TO MATCH SIZE AND CONFIGURATION OF ORIGINAL. PITCH SLAB & PROVIDE NEW DRAIN TO BE CONNECTED TO PERIMETER DRAINAGE SYSTEM. PROVIDE NEW 12"W X 58"L X 3"H (VIF) BLUESTONE COPING UNIT WHERE MISSING TO MATCH COLOR OF EXTANT ORIGINALS. REINSTALL METAL RAILINGS SO TRUE & PLUMB. PREP & PAINT RAILINGS.
 - LIFT & RESET DISPLACED MARBLE UNITS.
 - PROVIDE COPPER CHIMNEY FLUE ENCLOSURE. REFER TO DETAIL 3/A5.05.
 - RESTORE & REINSTALL WOOD SHUTTERS. WOOD SHUTTERS ARE CURRENTLY ON HOUSE OR KEPT IN THE HOUSE BASEMENT & CARRIAGE HOUSE. PREP & PAINT. REFER TO DOOR & WINDOWS SCHEDULES ON SHEETS A6.01-6.02 FOR SPECIFIC SCOPE.
 - NOT USED.
 - REINSTALL NEW/SALVAGED PORCH BALUSTRADES IN EXACT LOCATION & CONFIGURATION AS EXISTING BALUSTRADE. PREP & PAINT.
 - PROVIDE NEW PANE OF GLASS. GLASS IS TO MATCH SIZE, COLOR, TEXTURE, & APPEARANCE OF THE EXISTING.
 - NOT USED.
 - REMOVE AND SALVAGE WOOD COLUMNS & BALUSTER. PROVIDE TEMPORARY SHORING FOR PORCH ROOF AS NECESSARY TO REPAIR CONCRETE. REMOVE BROKEN CONCRETE PORCH SLAB. PREP & POUR NEW CONCRETE PORCH SLAB TO MATCH SIZE & CONFIGURATION OF THE EXISTING. REINSTALL WOOD COLUMNS & BALUSTER IN THEIR ORIGINAL LOCATIONS. PREP & PAINT.
 - PROVIDE NEW CRUSHED STONE & CONC. SLAB IN FIELD TILE AREA. PROVIDE NEW MORTAR BED AND CUSTOM CLAY TILES THAT EXACTLY MATCH COLOR, TEXTURE, AND SIZE OF THE ORIGINALS. REINSTALL MARBLE PERIMETER SLAB & WOOD STAVE COLUMNS. PREP & PAINT WOOD COLUMNS.
 - REATTACH LOOSE GRILLE.
 - CAREFULLY DISASSEMBLE AND REBUILD AREA OF BRICK MASONRY.
 - CAREFULLY CUT-OUT DAMAGED BRICK & REPLACE WITH SALVAGED BRICK THAT EXACTLY MATCHES SIZE, TEXTURE, & COLOR OF ORIGINALS. APPROX. QUANTITY OF BRICK INDICATED IN ().
 - CAREFULLY REINSTALL WOOD PANEL & GLASS WALL AT PORCH AFTER PAVER WORK IS COMPLETE. PORCH WALL IS TO BE REBUILT TO EXACTLY MATCH CONFIGURATION OF ORIGINAL WALL.
 - ALTERNATE 1: DOCUMENT, CAREFULLY REMOVE, & REBUILD BRICK PARAPET IN THE EXACT CONFIGURATION, SIZE, AND BRICK BOND AS THE ORIGINAL. REINSTALL MARBLE PARAPET CAP WITH NEW FLASHING.
 - ALTERNATE 1: RE-SEAL ALL MARBLE PARAPET CAP JOINTS W/ CUSTOM TWO-PART POLYURETHANE SEALANT TO MATCH COLOR OF CLEANED MARBLE. CLEAN.
 - ALTERNATE 1: PROVIDE NEW ALUM. GUTTER & DOWNSPOUT AT GARAGE.

<table><tr><td>1</td><td>06/07/19</td><td>RC</td><td>EK</td><td>ISSUED FOR BID</td></tr><tr><td>REVISION NUMBER</td><td>DATE</td><td>MADE BY</td><td>APP'D BY</td><td>REVISION</td></tr></table>				1	06/07/19	RC	EK	ISSUED FOR BID	REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION
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CONTRACTOR		PROJECT COORDINATOR											
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TITLE _____		TITLE _____											
DATE _____		DATE _____											
WESTCHESTER COUNTY, NEW YORK		CONTRACT NUMBER		SHEET NUMBER									
DEPARTMENT OF PUBLIC WORKS		15-556		A2.01									
DIVISION OF ENGINEERING		SHEET NO. 21		OF 30									
MAIN HOUSE REHABILITATION - MERESTEAD		SCALE: 1/8" = 1'-0"		DATE: 06/07/19									
BEDFORD AND NEW CASTLE, NEW YORK		DPW FILE NO.		REV. NO.									
EAST & WEST EXTERIOR ELEVATIONS		92-01-A-48-0		0									

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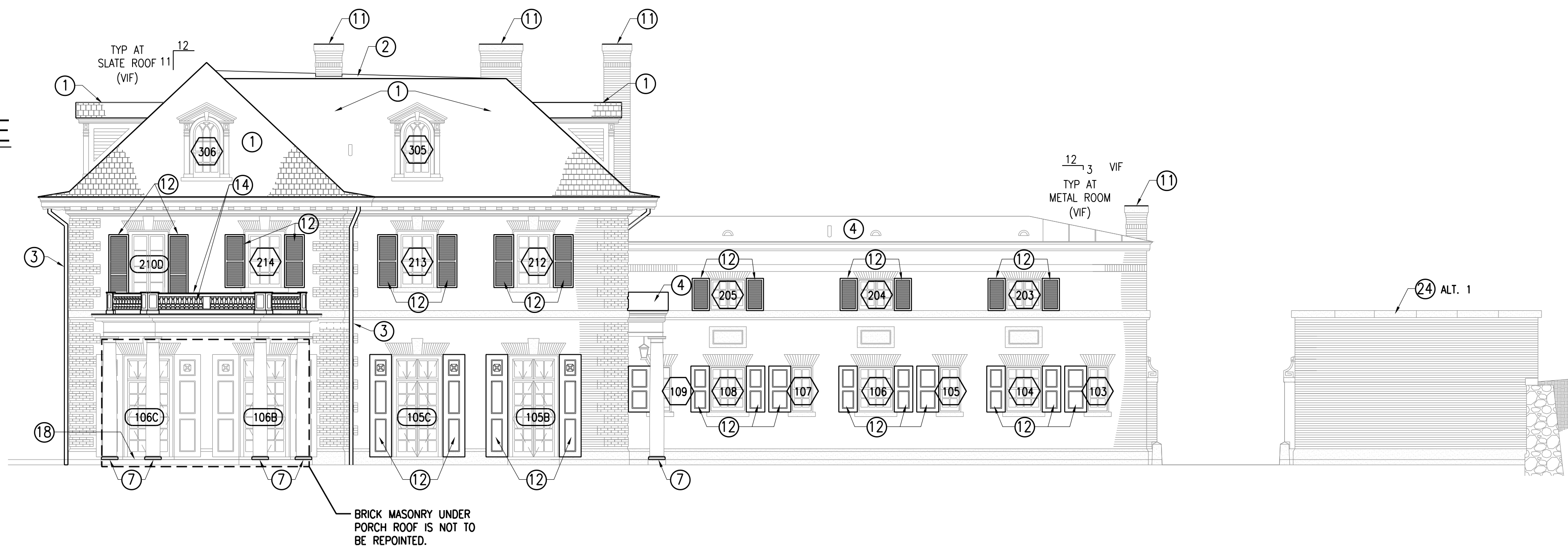
1 NORTH ELEVATION
SCALE: 1/8"=1'-0"



3 PHOTO OF WD SOFFIT DAMAGE
SCALE: 1/8"=1'-0"



4 SEVERELY ERODED BRICK
SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

- LEGEND:
- EXISTING ELEMENTS TO REMAIN.
 - NEW CONSTRUCTION
 - EXISTING MARBLE
 - EXISTING BRICK
 - SLATE ROOF
 - PRESERVATION KEYNOTE
- DOOR #. REFER TO DOOR SCHEDULE ON SHEET A6.02.
- WINDOW #. REFER TO WINDOW SCHEDULE ON SHEET A6.01.
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 - INSTALL NEW MEMBRANE ROOFING. REPLACE ALL DAMAGED, ROTTED, AND MISSING SUBSTRATE AND ROOF DECK. PROVIDE NEW GUTTER & DOWNSPOUTS TO MATCH EXISTING. ALTERNATE 1: PROVIDE MEMBRANE ROOF AT GARAGE.
 - PROVIDE NEW COPPER GUTTER LINER AND DOWNSPOUTS THAT MATCH SIZE & PROFILE OF THE EXISTING. REPLICATE ALL EXISTING DOWNSPOUT OFFSETS & CLEANOUTS. PROVIDE NEW DOWNSPOUT HANGERS THAT MATCH ARCHITECT'S SAMPLE (SEE 15/A5.05). TYP. DOWNSPOUT AT HOUSE ARE 4" X 6" AND 3" X 4" AT SERVANT'S WING. REPLACE ALL DAMAGED, ROTTED, AND MISSING GUTTERS, SUBSTRATE AND ROOF DECK. CONNECT DOWNSPOUTS TO NEW PERIMETER UNDERGROUND DRAINAGE SYSTEM. REFER TO AKRF CIVIL DRAWINGS.
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 - PROVIDE SQUARE WOOD COLUMN BASES TO MATCH SIZE & PROFILE OF EXISTING. PREP & PAINT.
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 - LIFT & RESET DISPLACED MARBLE UNITS.
 - PROVIDE COPPER CHIMNEY FLUE ENCLOSURE. REFER TO DETAIL 3/A5.05.
 - RESTORE & REINSTALL WOOD SHUTTERS. WOOD SHUTTERS ARE CURRENTLY ON HOUSE OR KEPT IN THE HOUSE BASEMENT & CARRIAGE HOUSE. PREP & PAINT. REFER TO DOOR & WINDOWS SCHEDULES ON SHEETS A6.01-6.02 FOR SPECIFIC SCOPE.
 - NOT USED.
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 - PROVIDE NEW PANE OF GLASS. GLASS IS TO MATCH SIZE, COLOR, TEXTURE, & APPEARANCE OF THE EXISTING.
 - NOT USED.
 - REMOVE AND SALVAGE WOOD COLUMNS & BALUSTER. PROVIDE TEMPORARY SHORING FOR PORCH ROOF AS NECESSARY TO REPAIR CONCRETE. REMOVE BROKEN CONCRETE PORCH SLAB. PREP & POUR NEW CONCRETE PORCH SLAB TO MATCH SIZE & CONFIGURATION OF THE EXISTING. REINSTALL WOOD COLUMNS & BALUSTER IN THEIR ORIGINAL LOCATIONS. PREP & PAINT.
 - PROVIDE NEW CRUSHED STONE & CONC. SLAB IN FIELD TILE AREA. PROVIDE NEW MORTAR BED AND CUSTOM CLAY TILES THAT EXACTLY MATCH COLOR, TEXTURE, AND SIZE OF THE ORIGINALS. REINSTALL MARBLE PERIMETER SLAB & WOOD STAVE COLUMNS. PREP & PAINT WOOD COLUMNS.
 - REATTACH LOOSE GRILLE.
 - CAREFULLY DISASSEMBLE AND REBUILD AREA OF BRICK MASONRY.
 - CAREFULLY CUT-OUT DAMAGED BRICK & REPLACE WITH SALVAGED BRICK THAT EXACTLY MATCHES SIZE, TEXTURE, & COLOR OF ORIGINALS. APPROX. QUANTITY OF BRICK INDICATED IN ().
 - CAREFULLY REINSTALL WOOD PANEL & GLASS WALL AT PORCH AFTER PAVER WORK IS COMPLETE. PORCH WALL IS TO BE REBUILT TO EXACTLY MATCH CONFIGURATION OF ORIGINAL WALL.
 - ALTERNATE 1: DOCUMENT, CAREFULLY REMOVE, & REBUILD BRICK PARAPET IN THE EXACT CONFIGURATION, SIZE, AND BRICK BOND AS THE ORIGINAL. REINSTALL MARBLE PARAPET CAP WITH NEW FLASHING.
 - ALTERNATE 1: RE-SEAL ALL MARBLE PARAPET CAP JOINTS W/ CUSTOM TWO-PART POLYURETHANE SEALANT TO MATCH COLOR OF CLEANED MARBLE. CLEAN.
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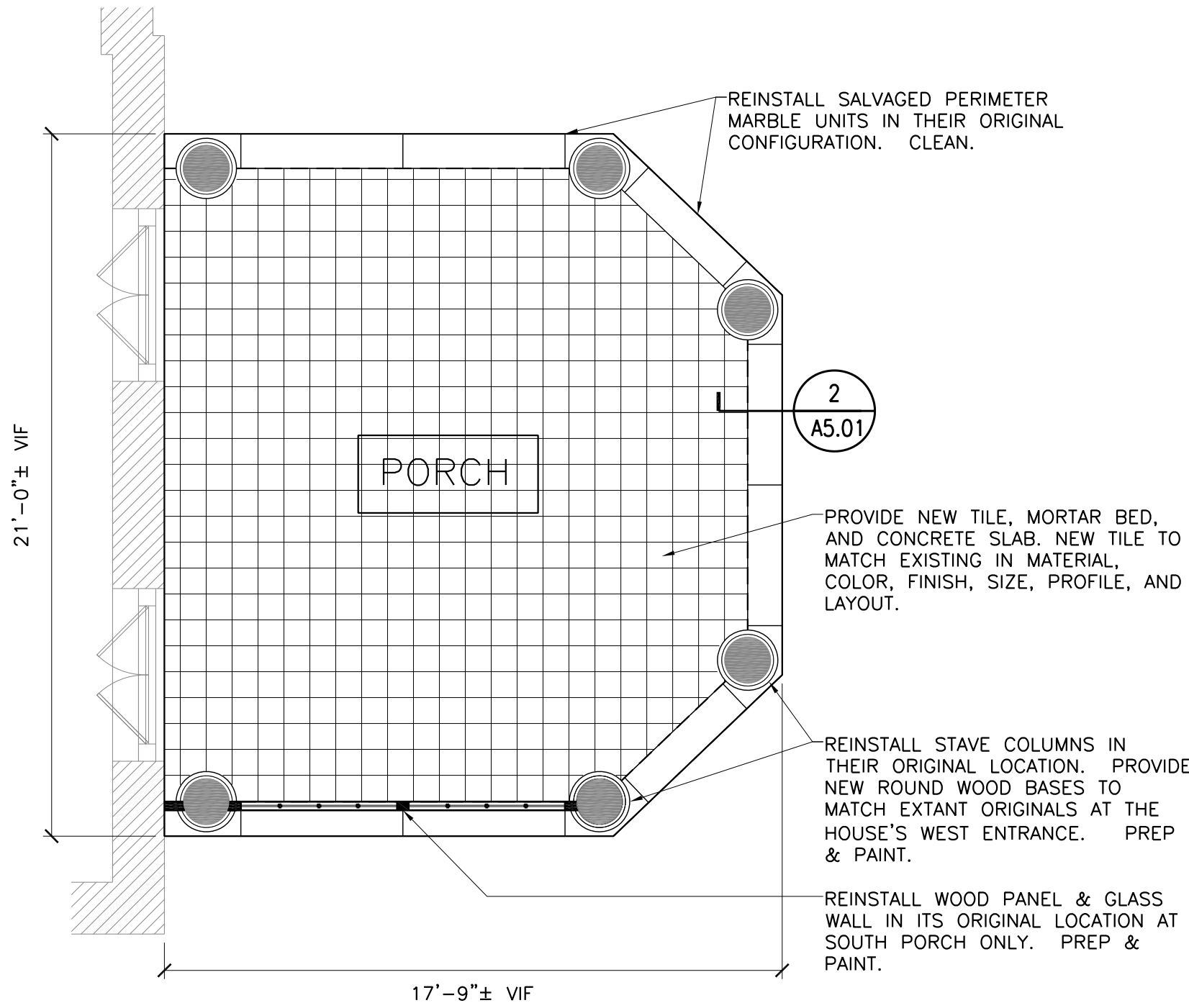
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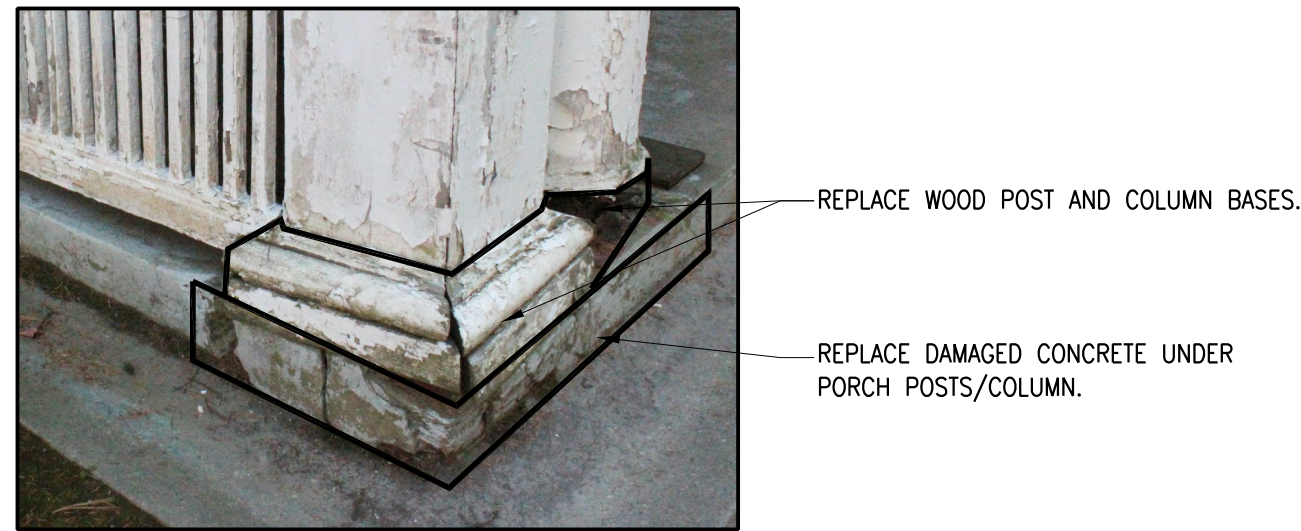
MADE BY _____

kaeyer, garment & davidson architects, pc 285 main street, mount kisco, new york 10549 p: 914.666.5900 f: 914.666.0051 kgdarchitects.com				
1	06/07/19	RC	EK	ISSUED FOR BID
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CONTRACTOR		PROJECT COORDINATOR		
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SIGNATURE _____		SIGNATURE _____		
TITLE _____		TITLE _____		
DATE _____		DATE _____		
WESTCHESTER COUNTY, NEW YORK		CONTRACT NUMBER	SHEET NUMBER	
DEPARTMENT OF PUBLIC WORKS		15-556	A2.02	
DIVISION OF ENGINEERING		SHEET NO. 22 OF 30		
MAIN HOUSE REHABILITATION - MERESTEAD		SCALE: 1/8" = 1'-0"		
BEDFORD AND NEW CASTLE, NEW YORK		DATE: 06/07/19		
NORTH & SOUTH EXTERIOR ELEVATIONS		DPW FILE NO.	REV. NO.	
		92-01-A-49-0	0	

4 NOT USED
SCALE: 1/4"=1'-0"



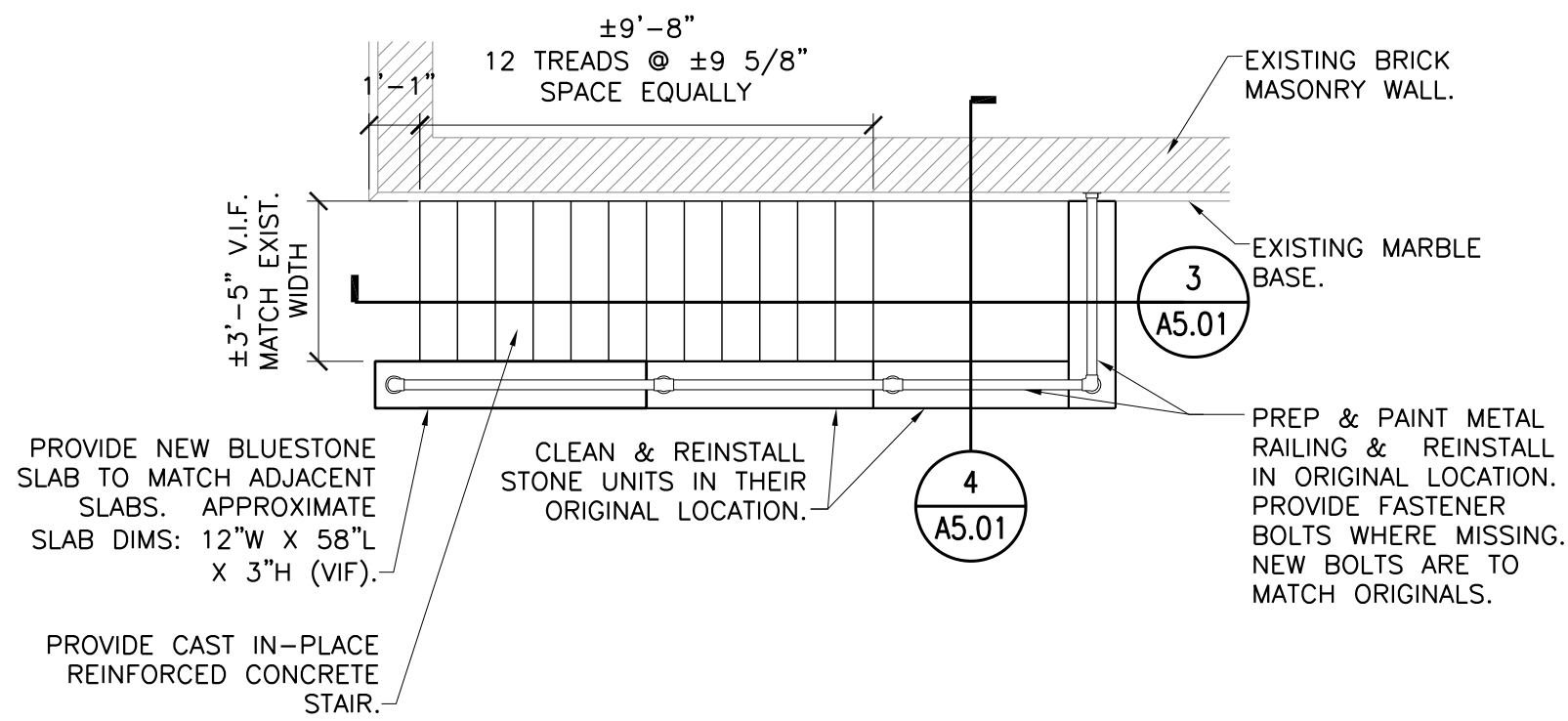
5 PORCH PLAN
SCALE: 1/4"=1'-0"



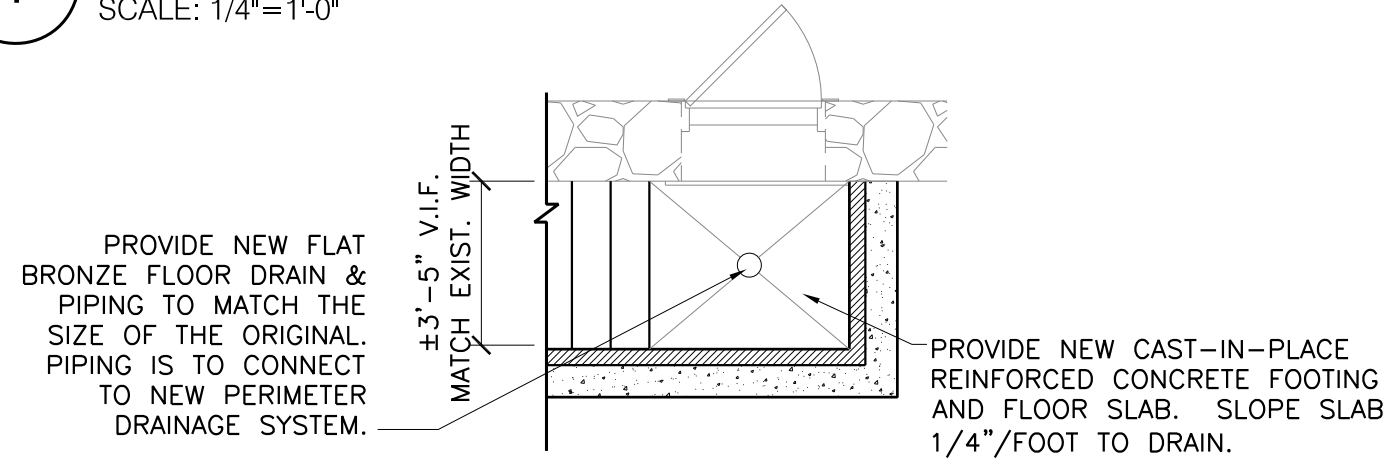
6 SERVANT'S PORCH DETAIL PHOTO
SCALE: NTS



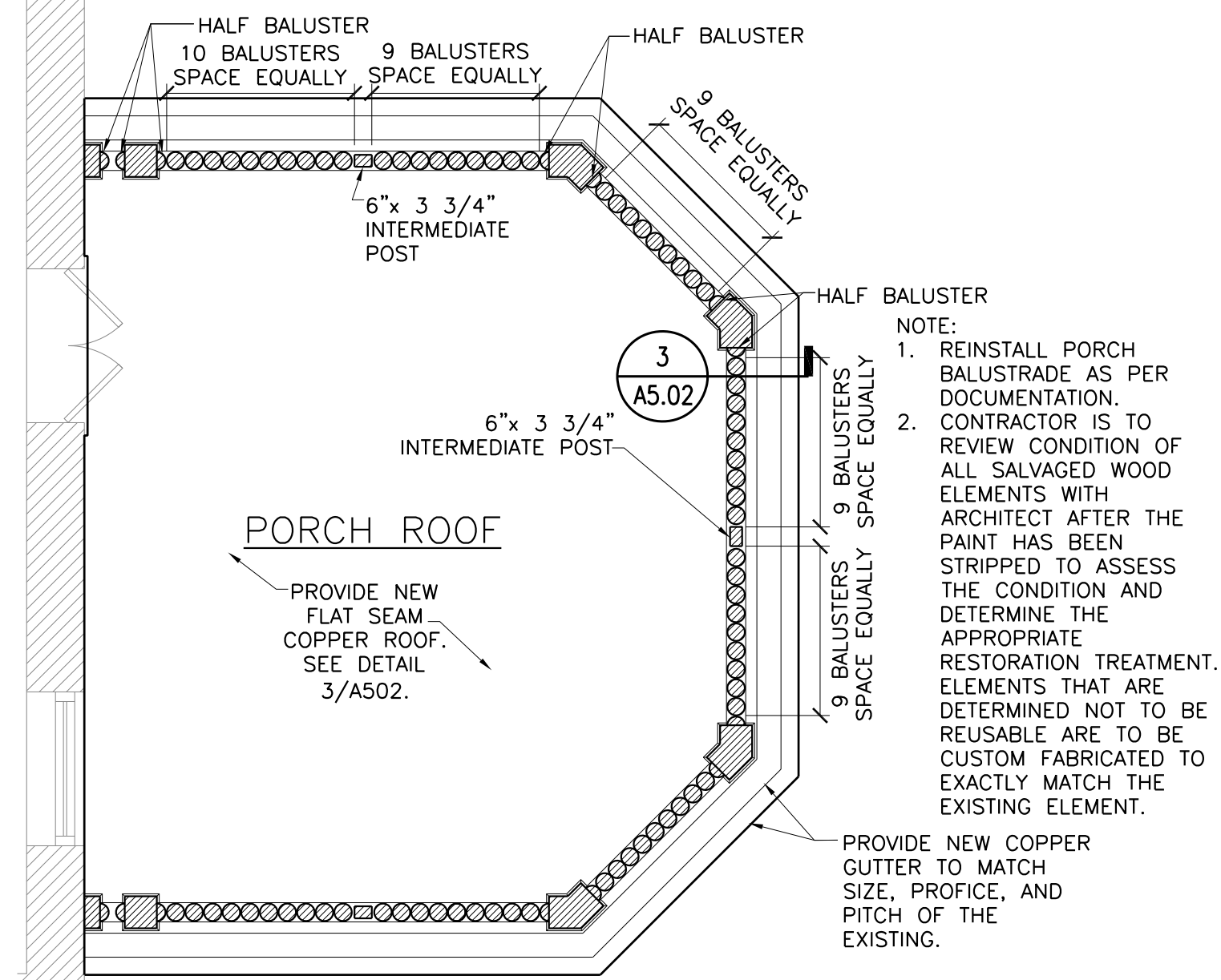
7 SERVANT'S PORCH BENCH DETAIL PHOTO
SCALE: NTS



1 BASEMENT STAIR PLAN
SCALE: 1/4"=1'-0"



2 BASEMENT STAIR BOTTOM LANDING PLAN
SCALE: 1/4"=1'-0"



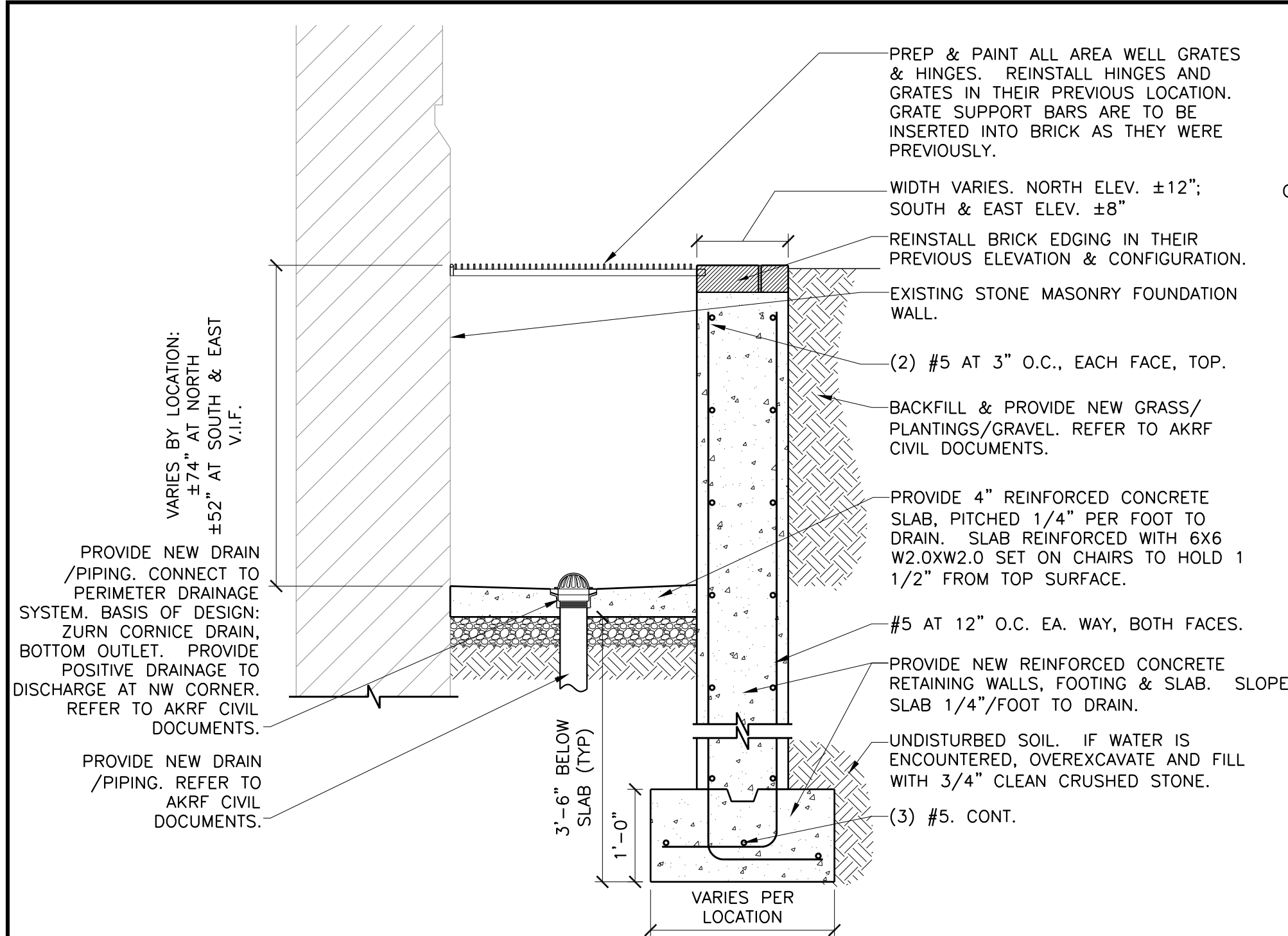
3 SOUTH BALCONY PLAN (N. BALC. SIM.)
SCALE: 1/4"=1'-0"

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REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION
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CONTRACTOR		PROJECT COORDINATOR		
NAME	_____ SIGNATURE	NAME	_____ SIGNATURE	
TITLE	_____ DATE	TITLE	_____ DATE	
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING		CONTRACT NUMBER 15-556	SHEET NUMBER A4.01	
MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK		SHEET NO. 23 OF 30		
PORCH & STAIRWELL & BALCONY PLANS		SCALE: AS SHOWN DATE: 06/07/19		REV. NO. 0

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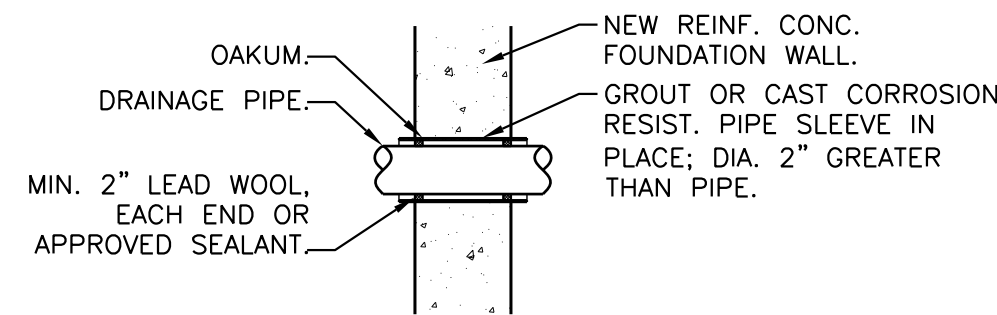
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6 SECTION THROUGH LIGHT WELL

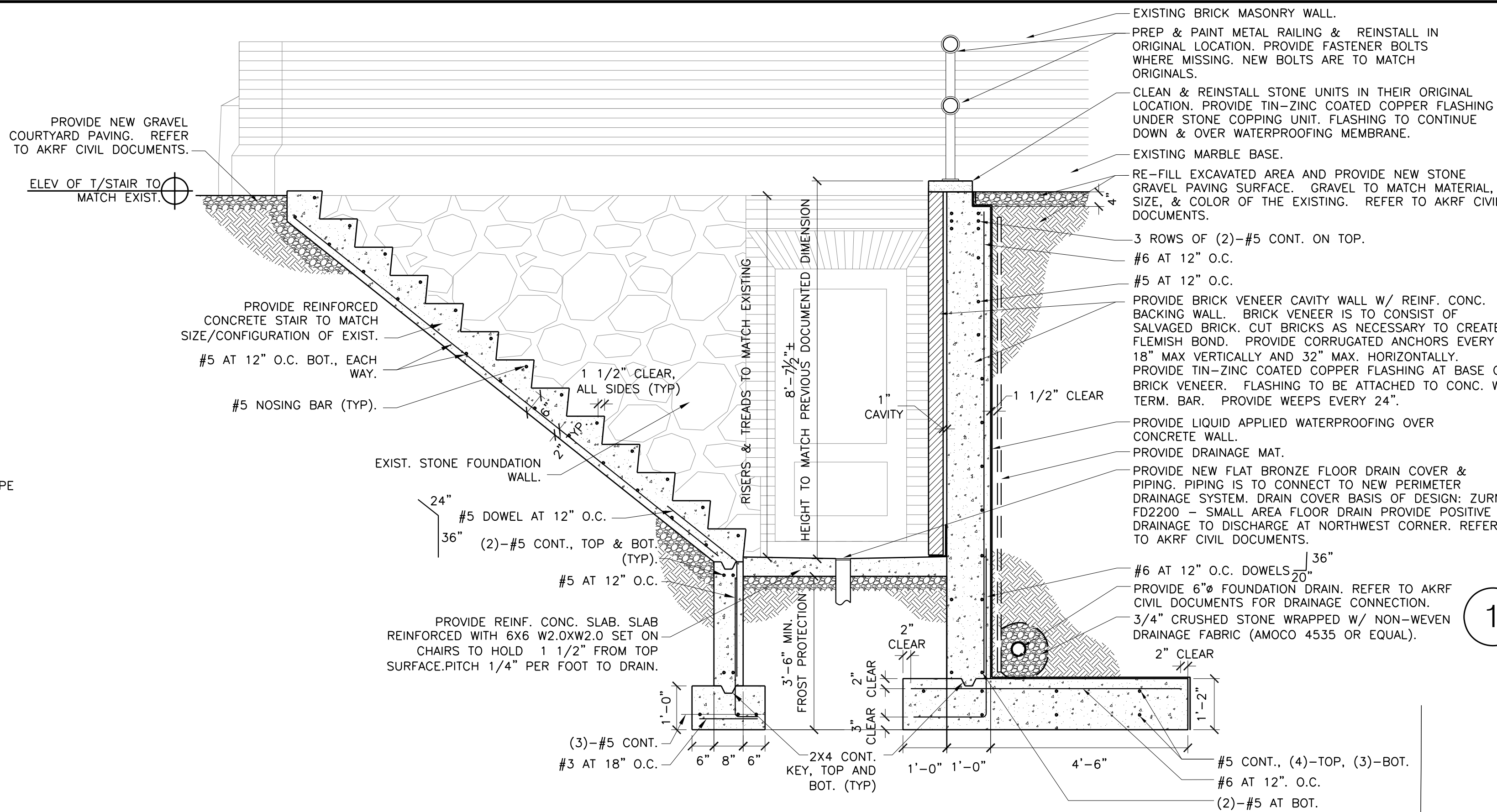
SCALE: 3/4"=1'-0"



NOTE: CAREFULLY COORDINATE LOCATION OF EACH PIPE SLEEVE WITH RE-BAR LAYOUT AND DRAINAGE PIPING LAYOUT. REFER TO AKRF CIVIL DOCUMENTS.

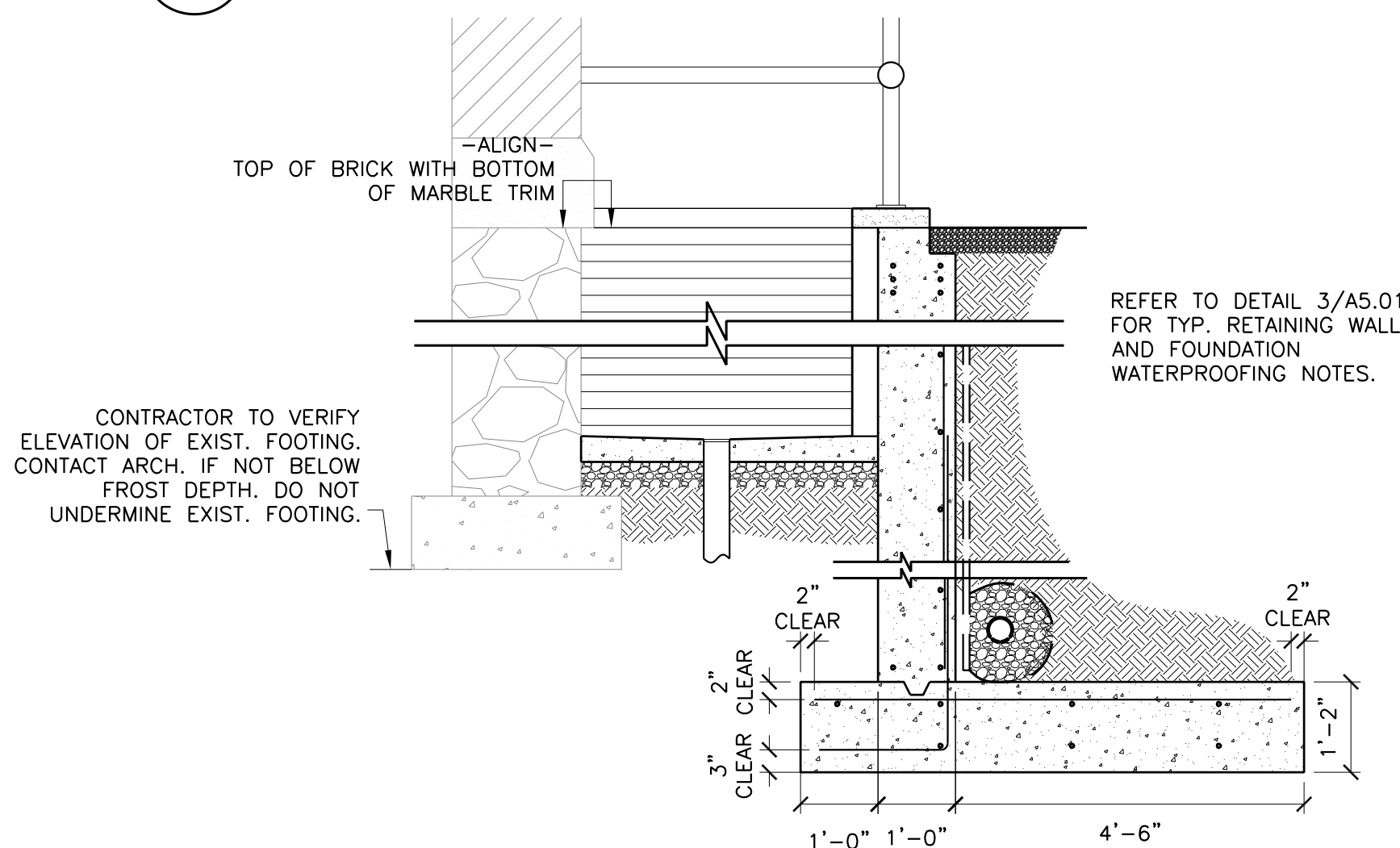
7 SLEEVE PIPE DETAIL

SCALE: 1/2"=1'-0"

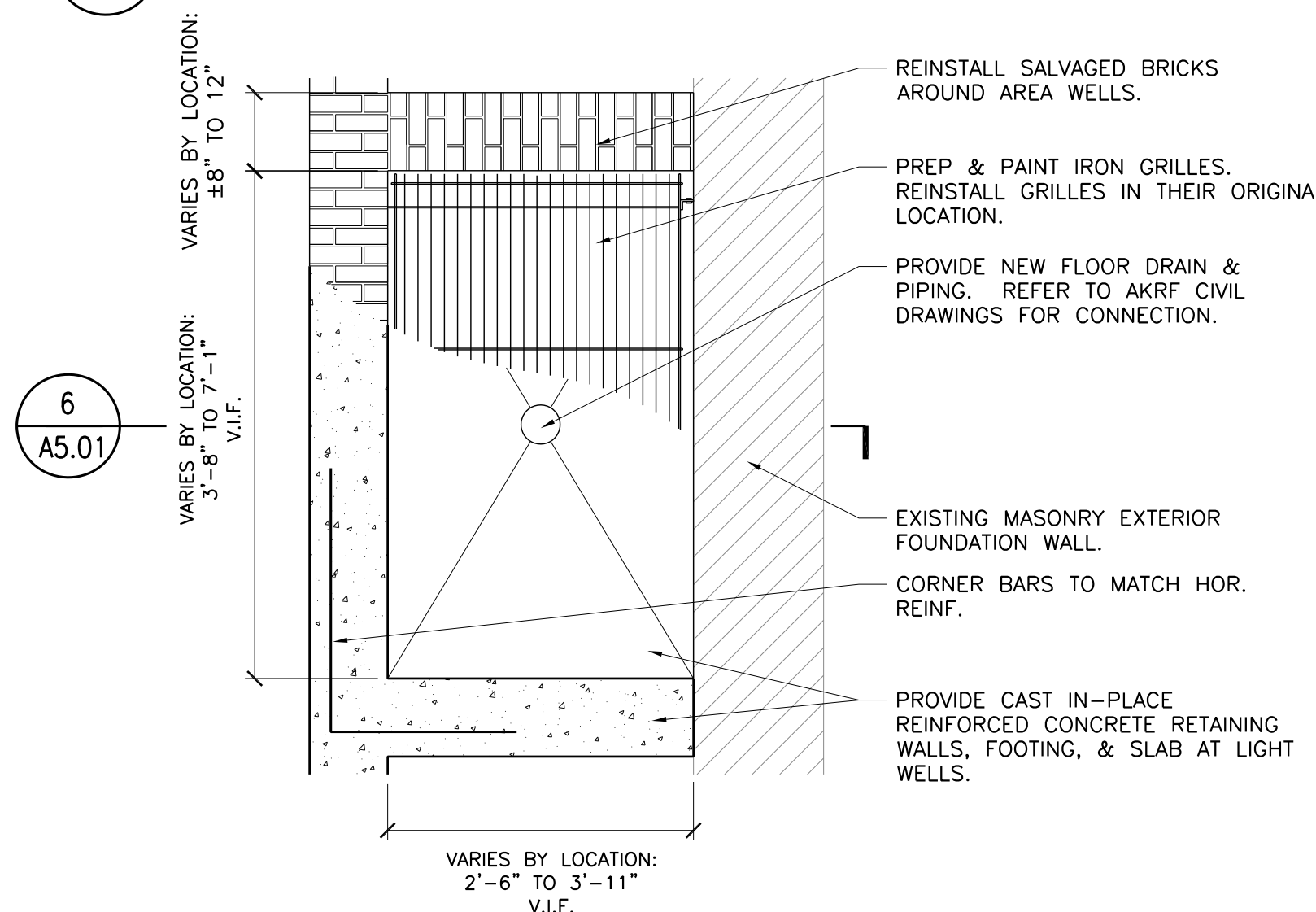


3 SECTION THROUGH BASEMENT STAIR

SCALE: 1/2"=1'-0"

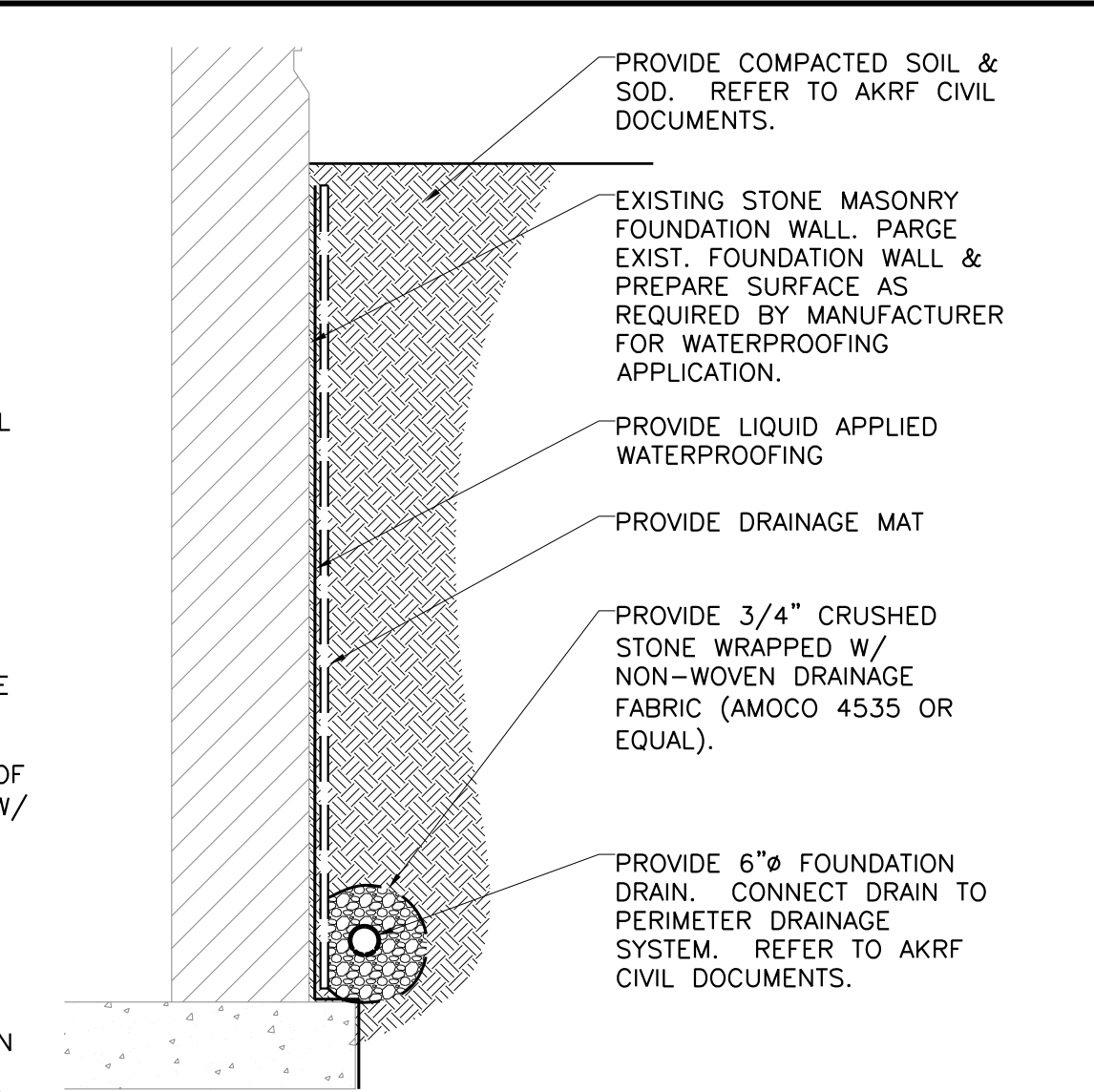


4 SECTION THROUGH BASEMENT STAIR WALL



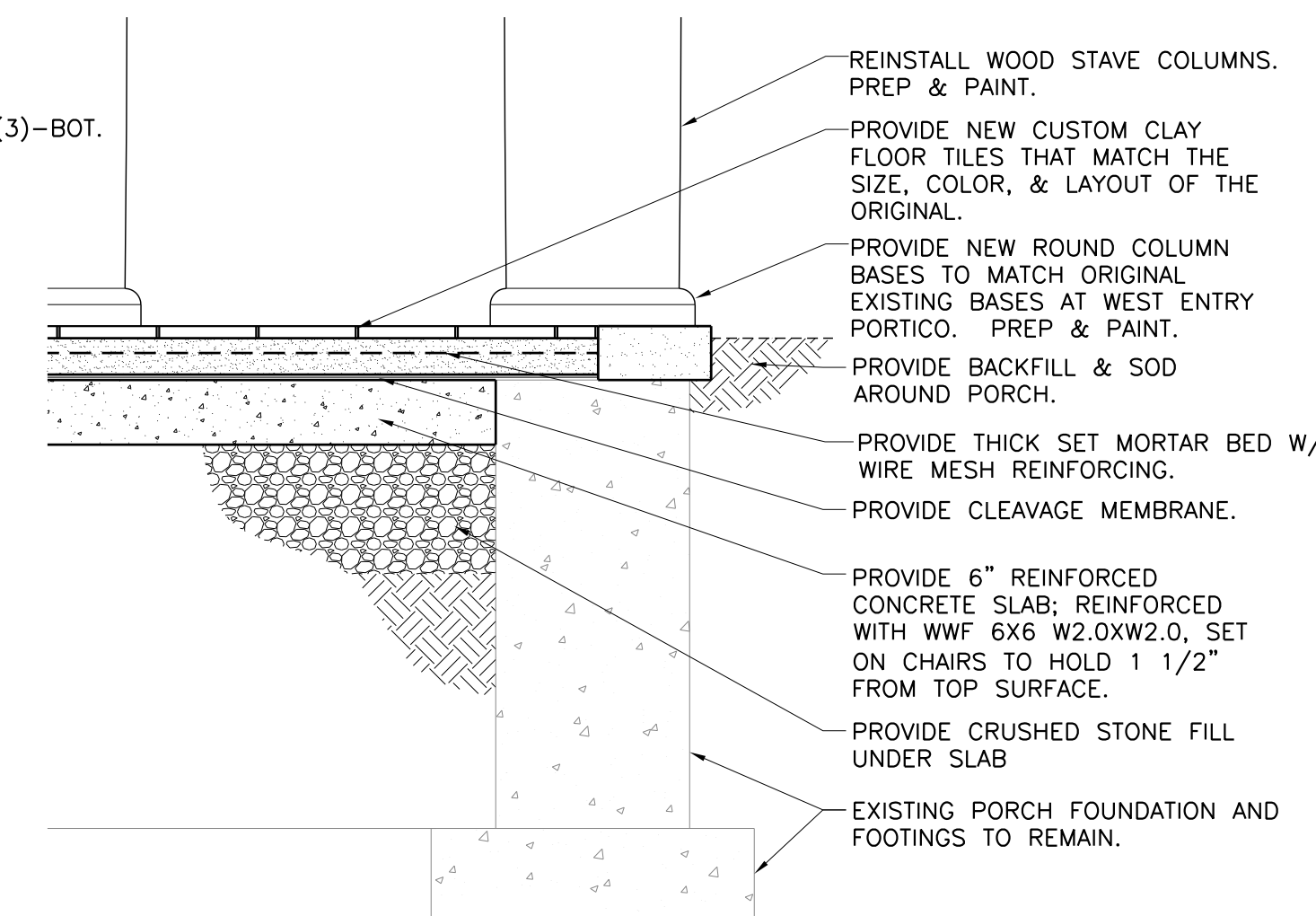
5 DETAIL PLAN AT LIGHT WELL

SCALE: 3/4"=1'-0"



1 TYP. FOUND. WATERPRFG. DETAIL

SCALE: 1/2"=1'-0"



2 SECTION THROUGH PORCH

SCALE: 3/4"=1'-0"

GENERAL NOTES (THIS SHEET ONLY):

1. PROVIDE TEMP. SHEETING, BRACING, EXCAVATION PROTECTION, & DE-WATERING AS REQUIRED AT ALL AREAS OF EXCAVATION.
2. ASSUME ACM @ ALL EXTERIOR FOUNDATION WALLS TO BE WATERPROOFED.

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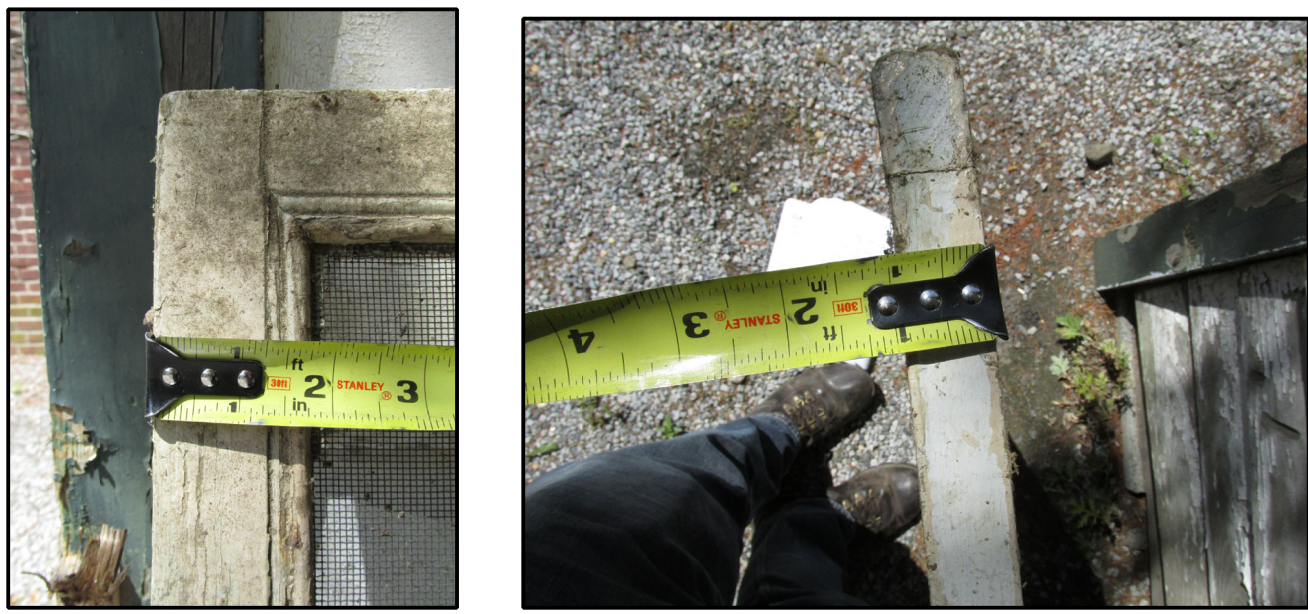
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1	06/07/19	RC	EK	ISSUED FOR BID
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RECORD DRAWING CERTIFICATION				
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CONTRACTOR		PROJECT COORDINATOR		
NAME _____		NAME _____		
SIGNATURE _____		SIGNATURE _____		
TITLE _____		TITLE _____		
DATE _____		DATE _____		
WESTCHESTER COUNTY, NEW YORK		CONTRACT NUMBER	SHEET NUMBER	
DEPARTMENT OF PUBLIC WORKS		15-556	A5.01	
DIVISION OF ENGINEERING		SHEET NO. 24 OF 30		
MAIN HOUSE REHABILITATION - MERESTEAD		SCALE: AS SHOWN		
BEDFORD AND NEW CASTLE, NEW YORK		DATE: 06/07/19		
DETAILS & SECTIONS		DPW FILE NO.	REV. NO.	
		92-01-A-51-0	0	



PHOTOS ARE FOR REFERENCE ONLY.

10 WOOD SCREEN PHOTOS

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PHOTOS ARE FOR REFERENCE ONLY.

11 ORIGINAL ROUND COLUMN BASE

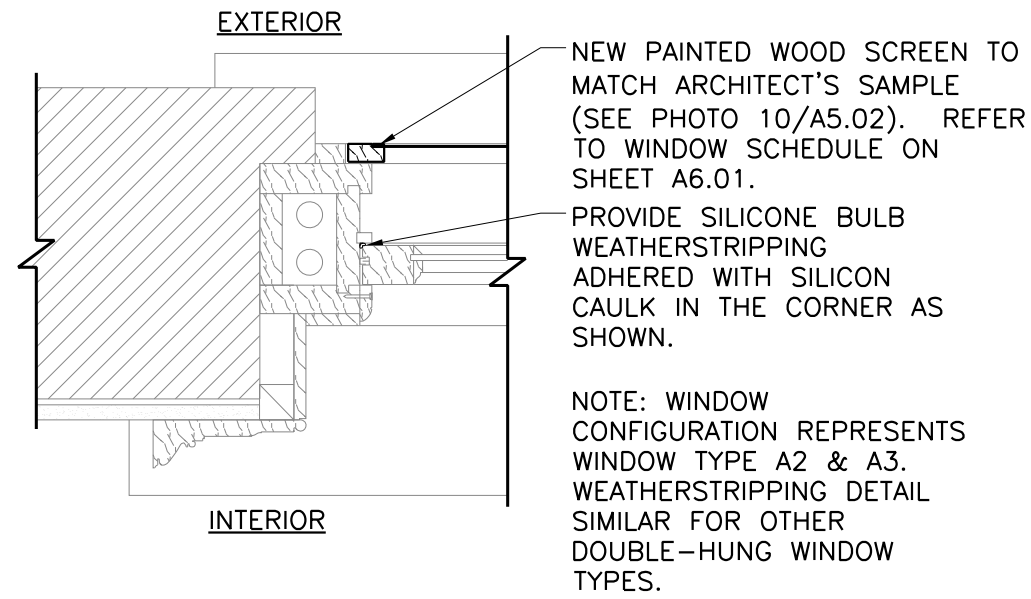
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PHOTOS ARE FOR REFERENCE ONLY.

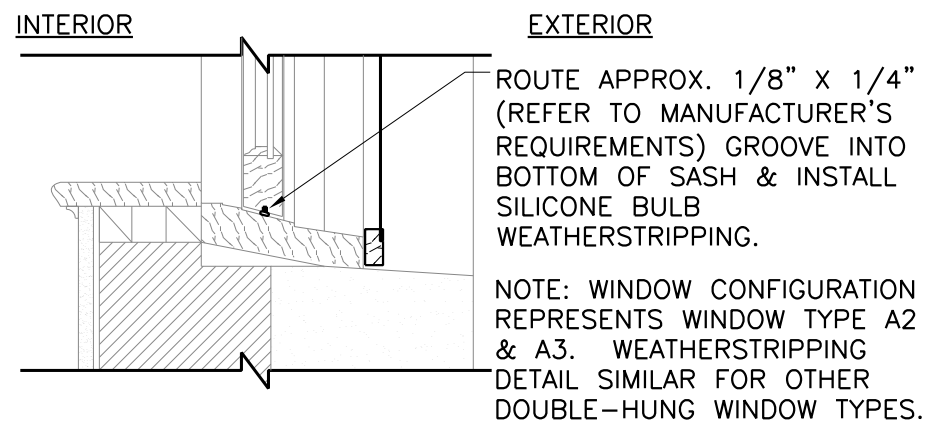
12 BALCONY RAILING FEATURES

NTS



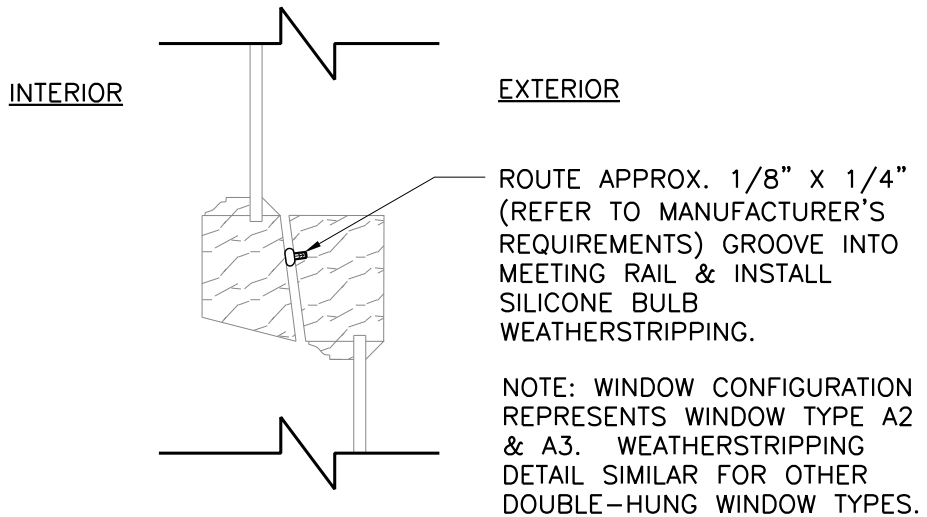
6 WINDOW JAMB/HEAD DETAIL

1 1/2" = 1'-0"



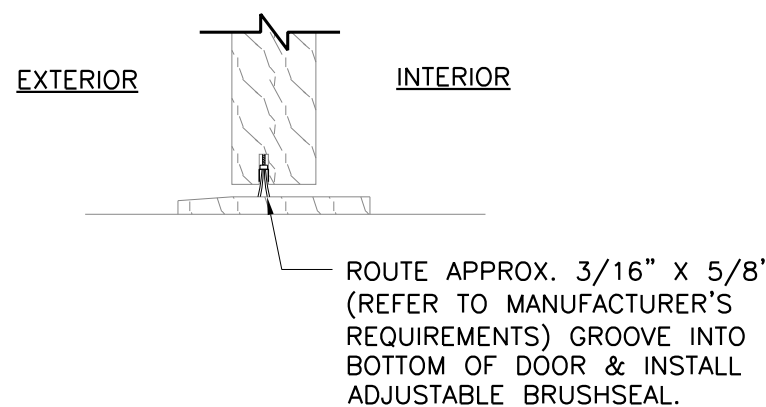
7 WINDOW SILL DETAIL

1 1/2" = 1'-0"



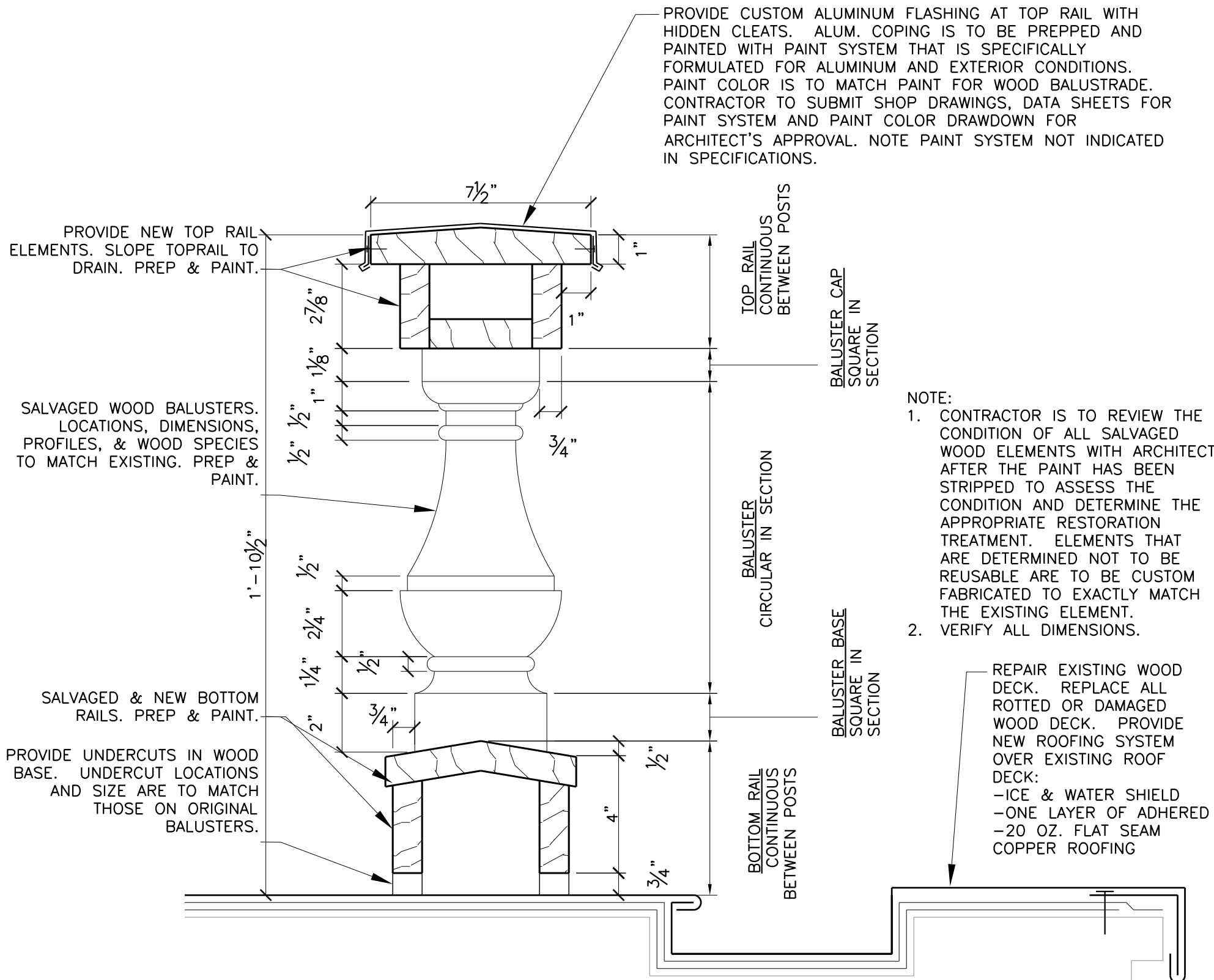
8 WINDOW MEETING RAIL DETAIL

3" = 1'-0"



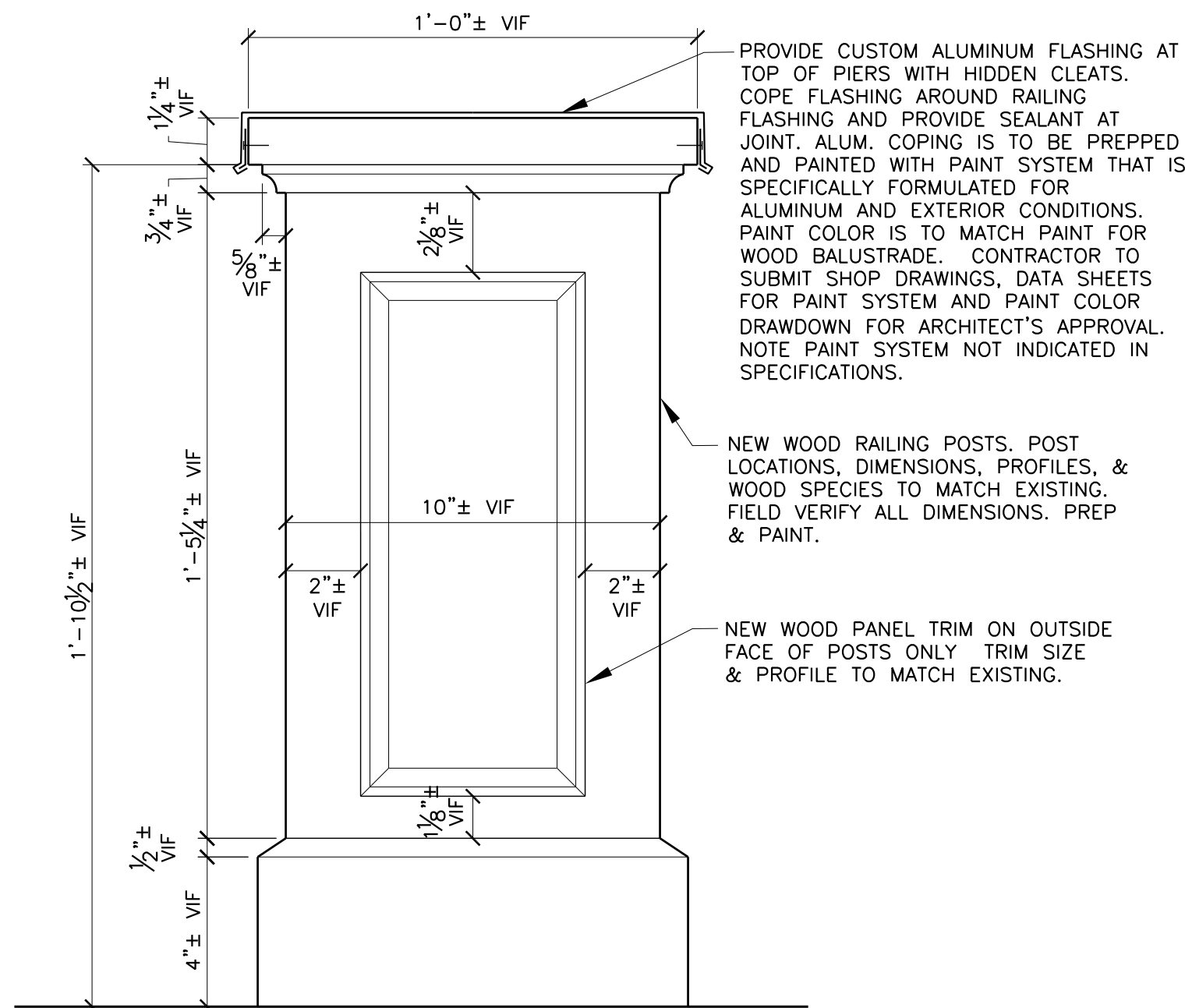
9 DOOR SWEEP DETAIL

3" = 1'-0"



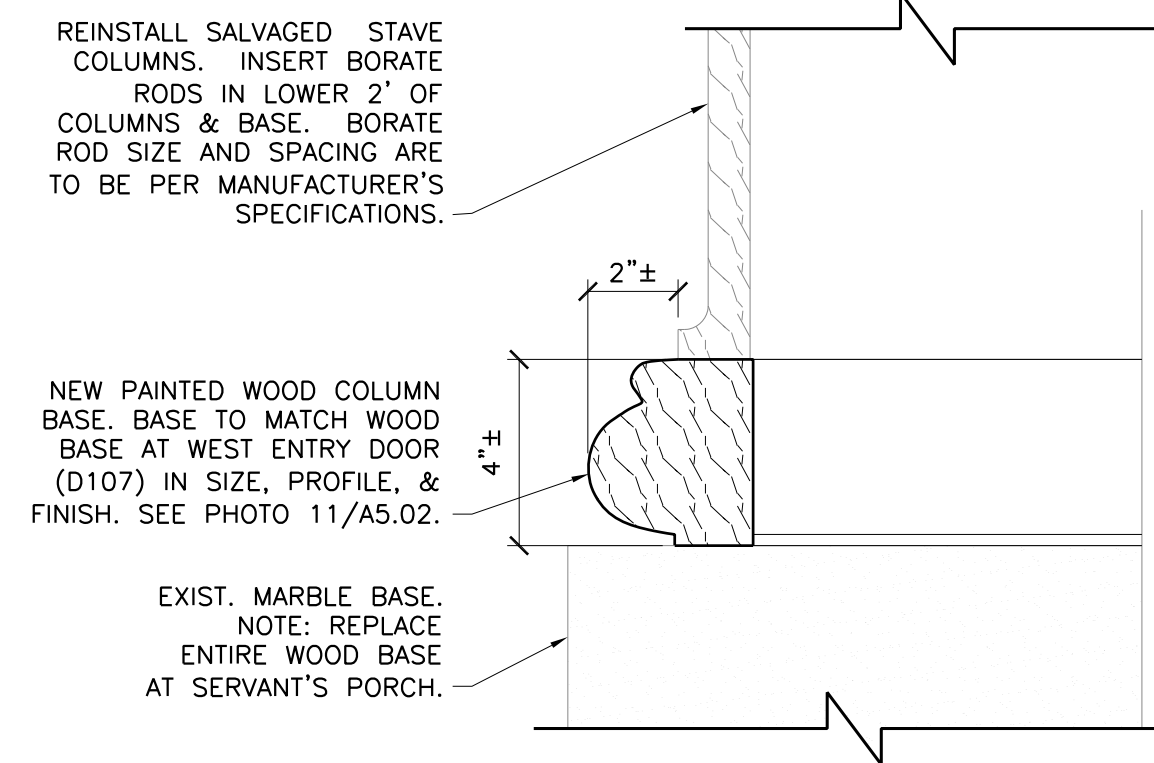
3 BALUSTER DETAIL

3" = 1'-0"



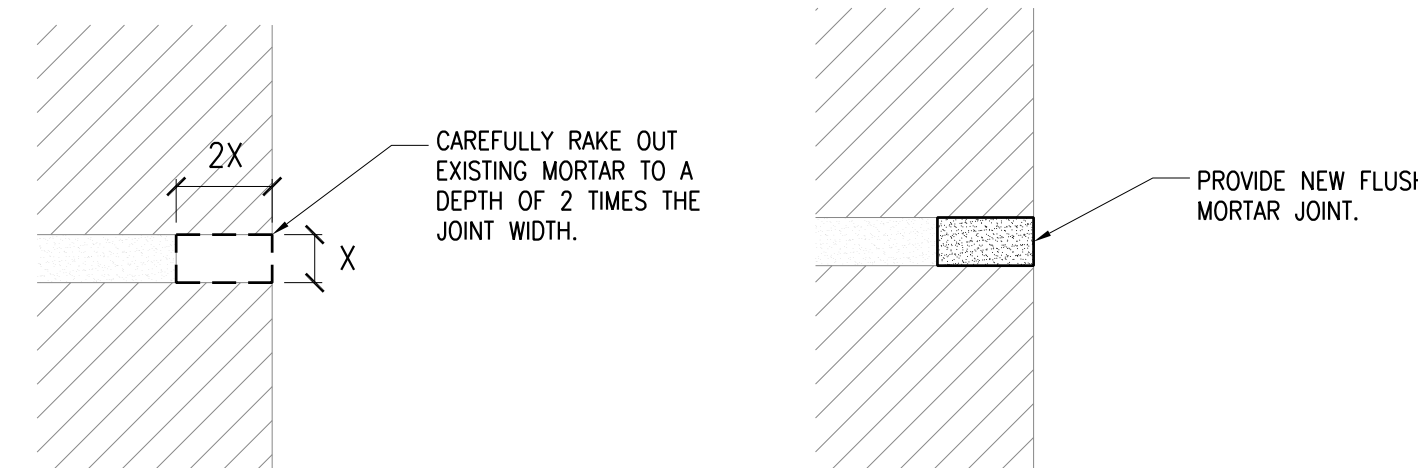
4 RAILING POST DETAIL-- EXT. SIDE

3" = 1'-0"



1 COLUMN BASE DETAIL

SCALE: 3" = 1'-0"



2 POINTING DETAIL

FULL

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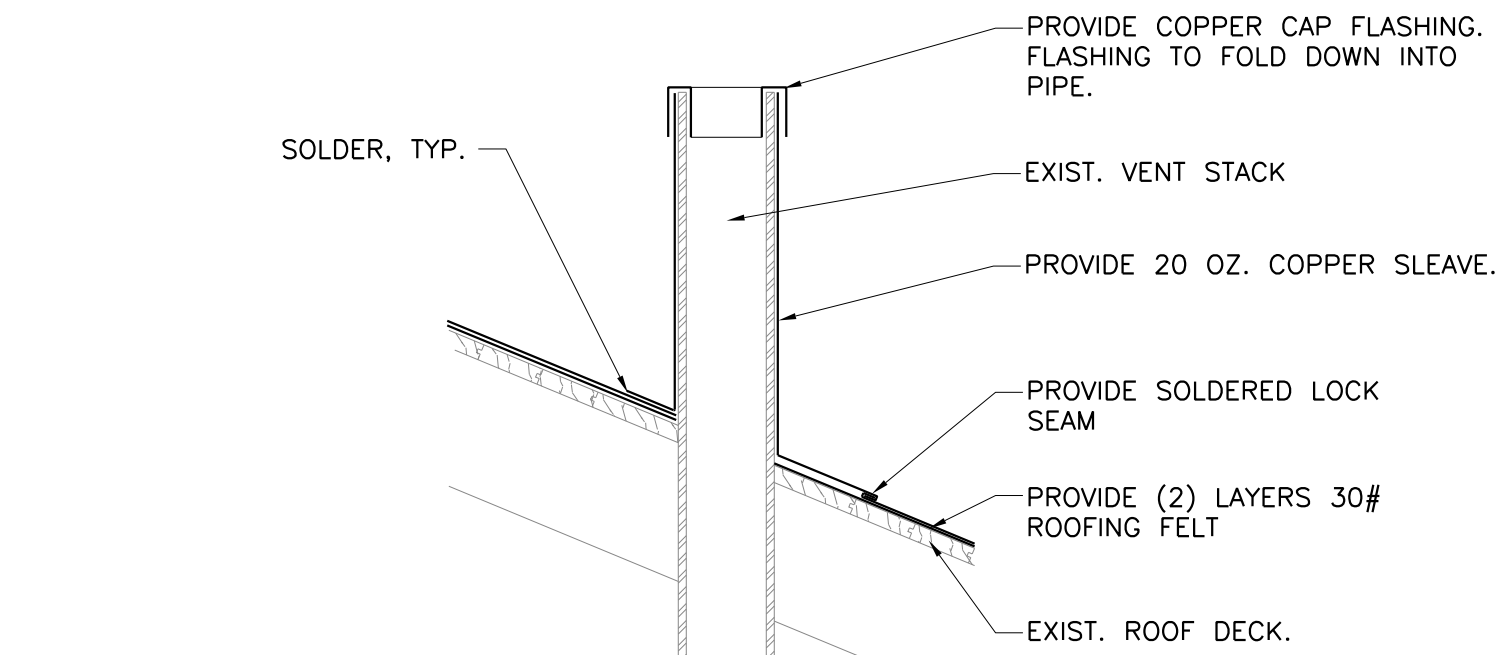
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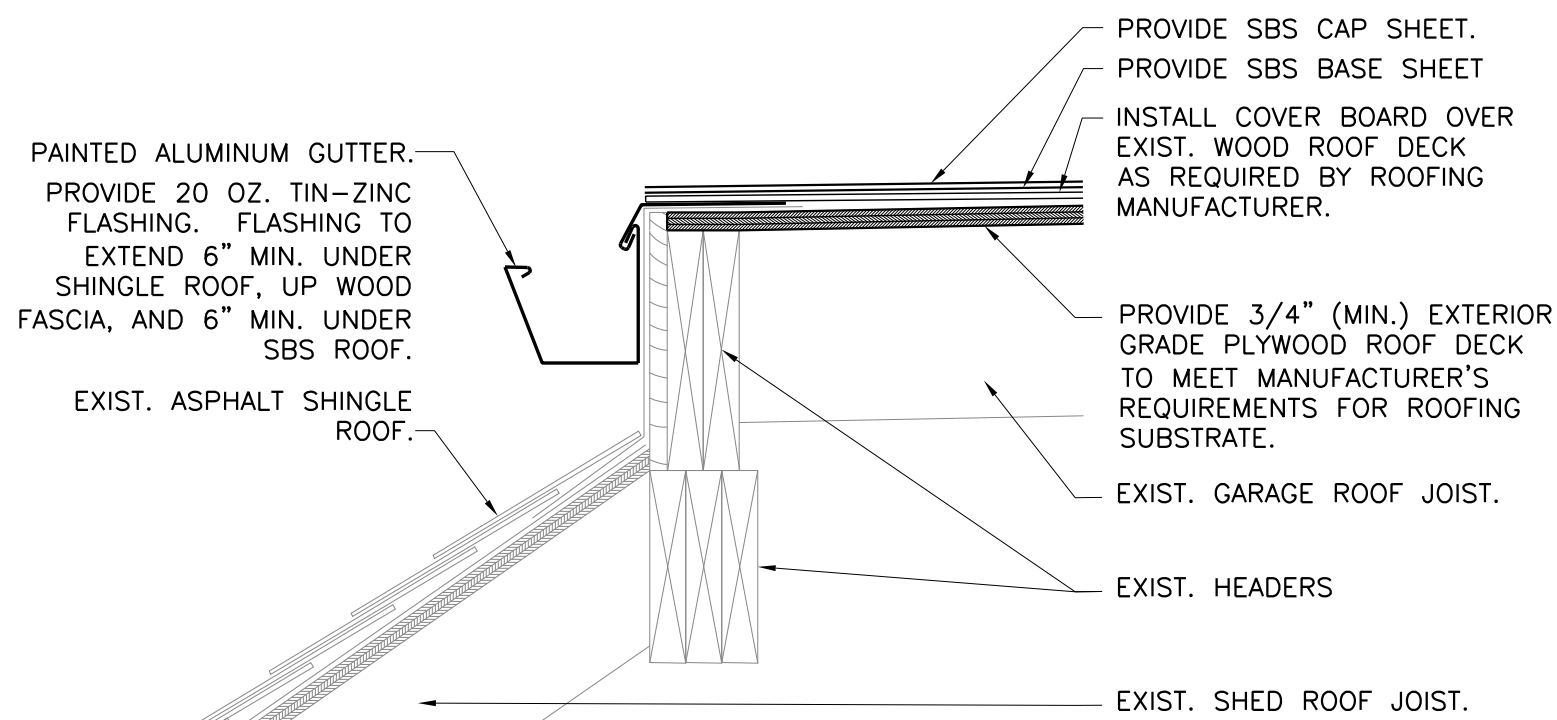
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CONTRACTOR		PROJECT COORDINATOR	
NAME	DATE	NAME	DATE
SIGNATURE	SIGNATURE	SIGNATURE	SIGNATURE
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING		CONTRACT NUMBER 15-556	
MAIN HOUSE REHABILITATION - MERESTAD BEDFORD AND NEW CASTLE, NEW YORK		SHEET NO. 25 OF 30	
BALUSTRADE & RAILING DETAILS		SCALE: AS SHOWN DATE: 06/07/19	
		DPW FILE NO. 92-01-A-52-0	
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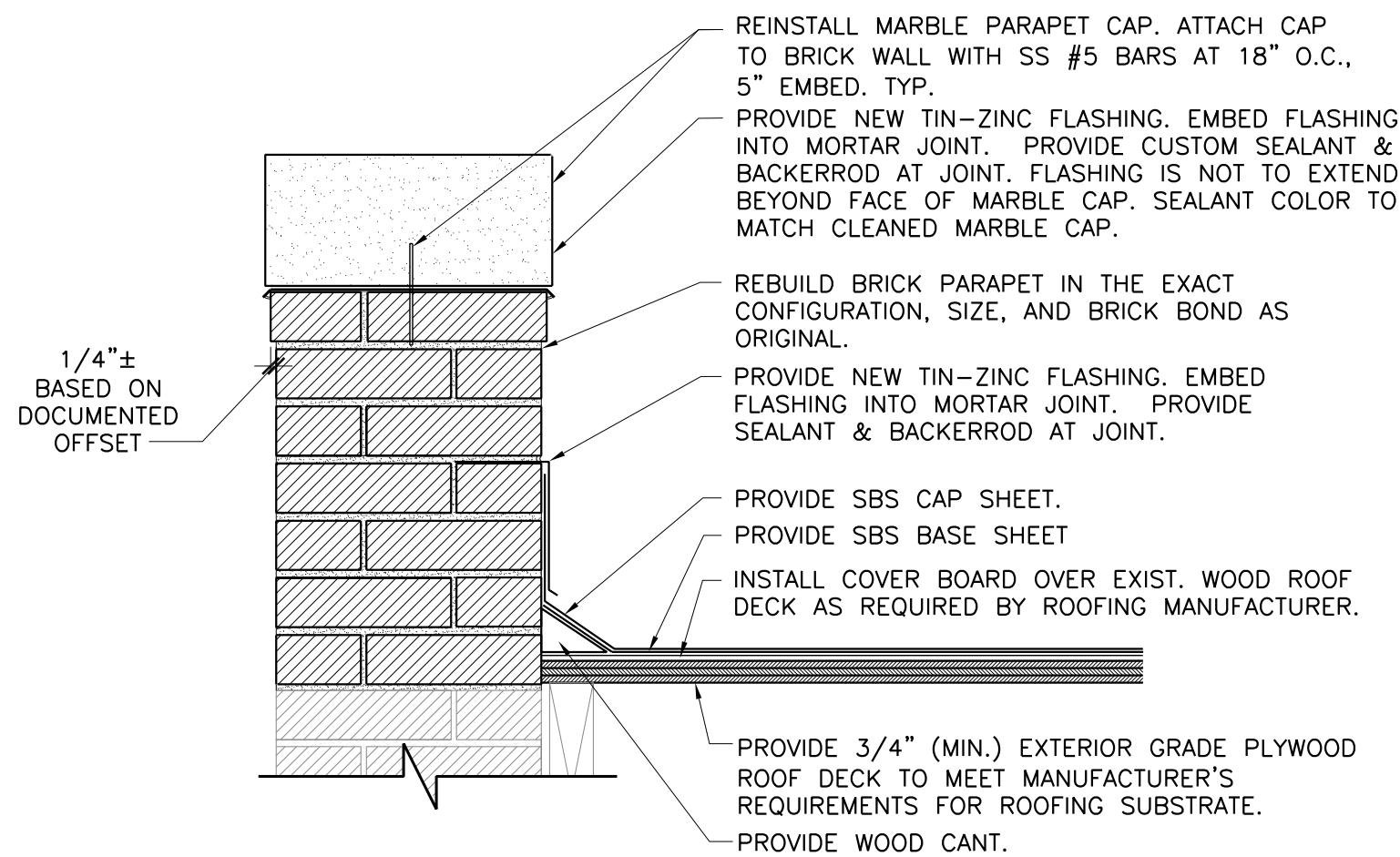
16 VENT STACK FLASHING
1"=1'-0"

17 NOT USED
1 1/2"=1'-0"

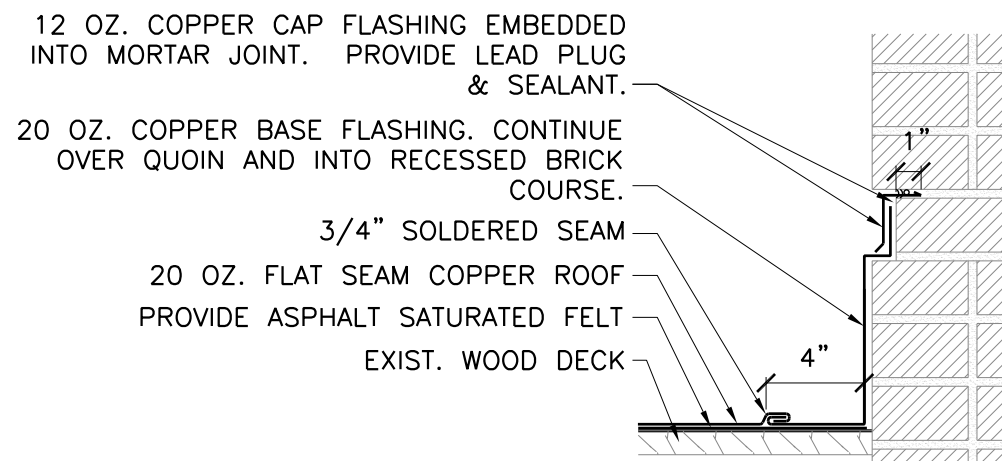
18 NOT USED
NTS



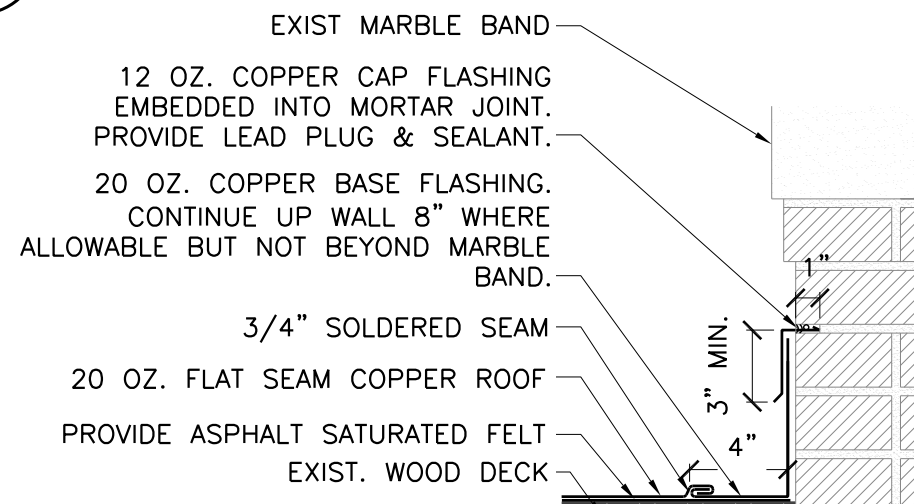
19 ALT. 1: GARAGE ROOF DETAIL
1 1/2"=1'-0"



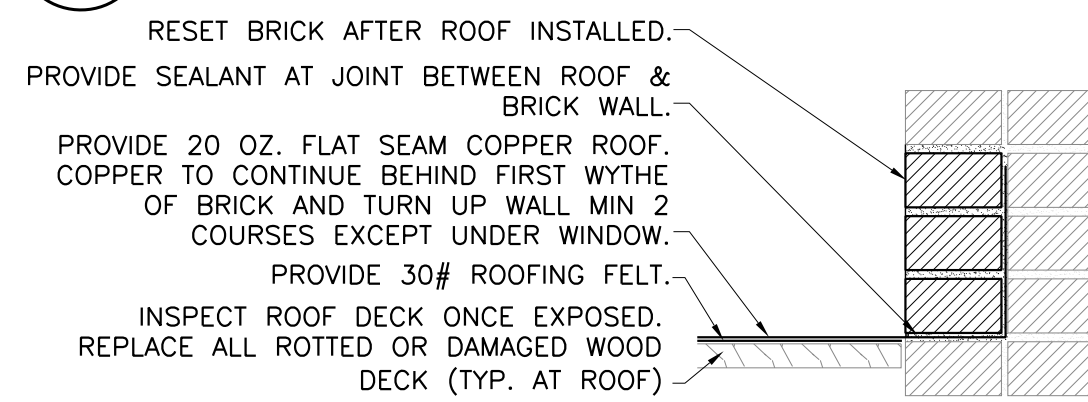
20 ALT. 1: GARAGE PARAPET/ROOF DETAIL
1 1/2"=1'-0"



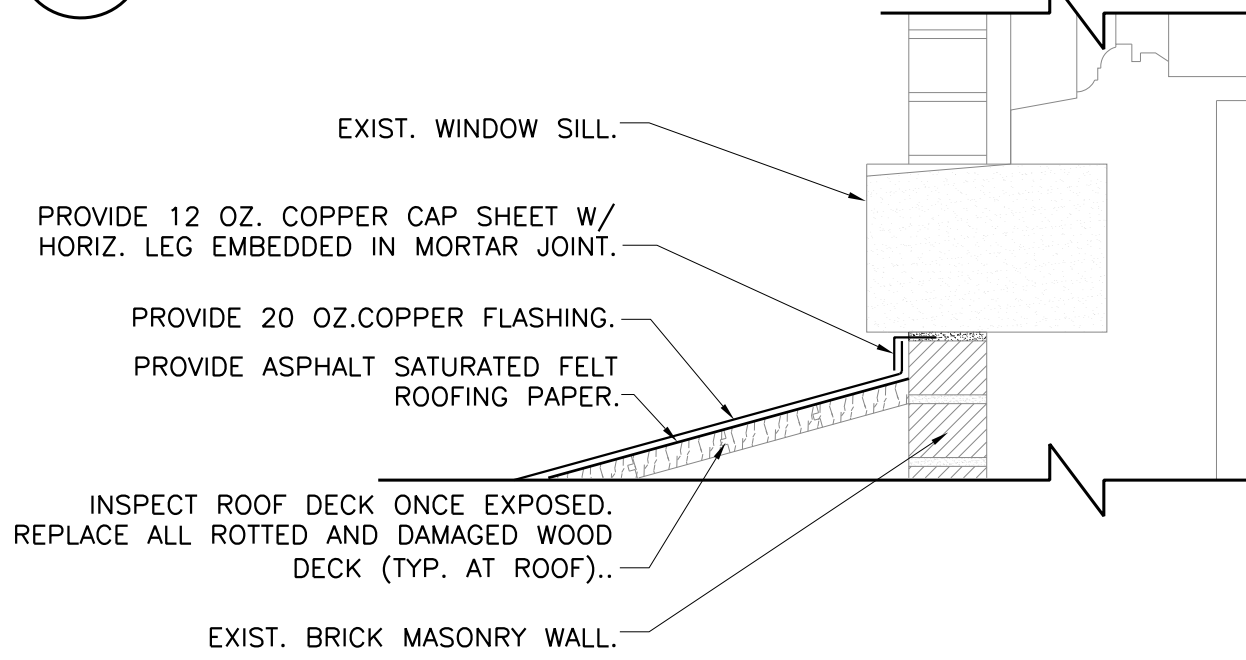
9 ROOF DETAIL AT MAS. WALL
1 1/2"=1'-0"



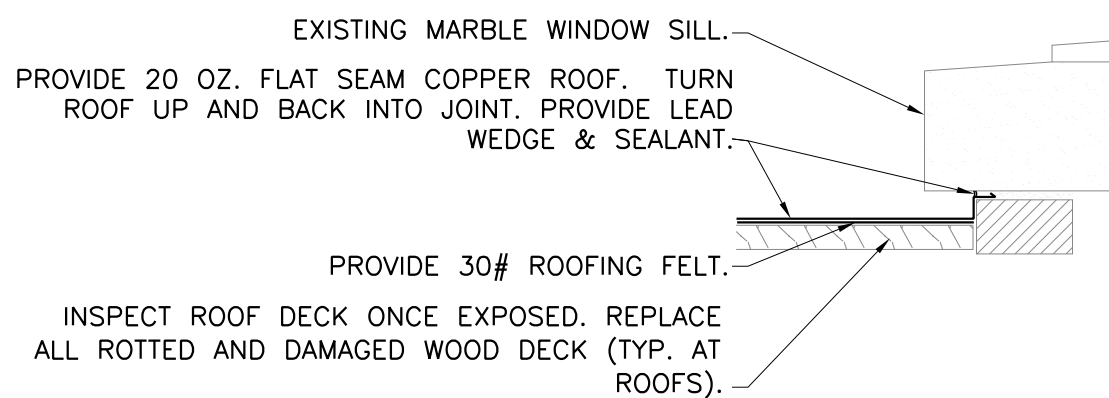
10 ROOF DETAIL AT MAS. WALL
1 1/2"=1'-0"



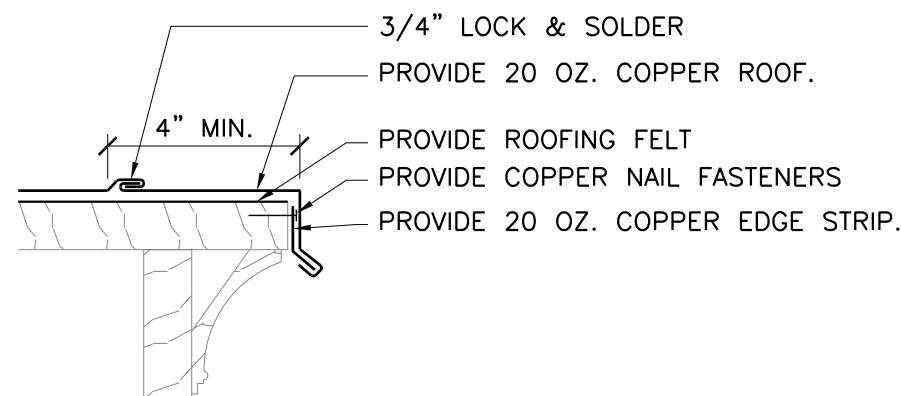
11 ROOF DETAIL AT MAS. WALL
1 1/2"=1'-0"



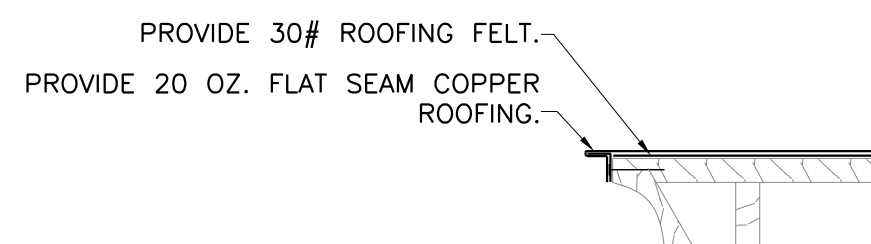
12 ROOF DETAIL AT WIND. SILL
1 1/2"=1'-0"



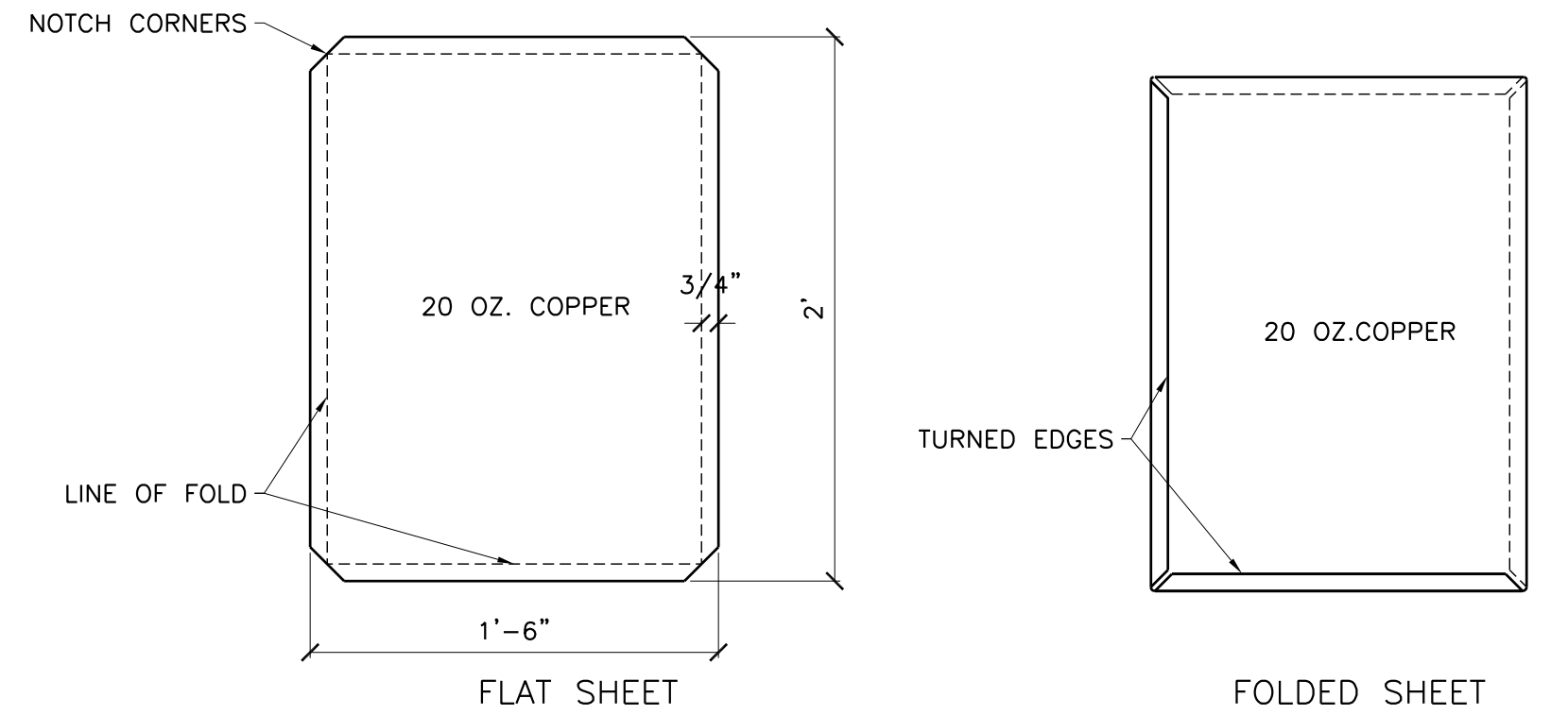
13 ROOF DETAIL AT WIND. SILL
1 1/2"=1'-0"



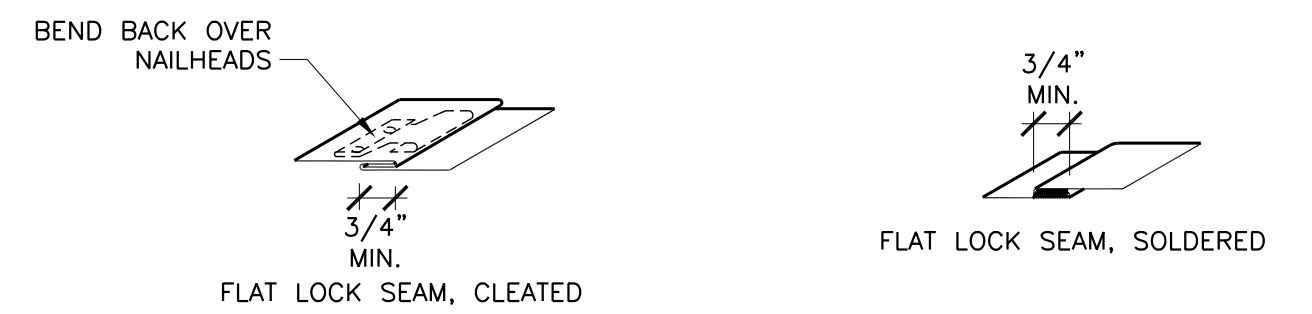
14 ROOF EDGE DETAIL
1 1/2"=1'-0"



15 ROOF EDGE DETAIL
1 1/2"=1'-0"



1 TYP. FLAT SEAM COPPER SHEETS DETAIL
1 1/2"=1'-0"



2 TYP. FLAT LOCK SEAM DETAILS
3"=1'-0"

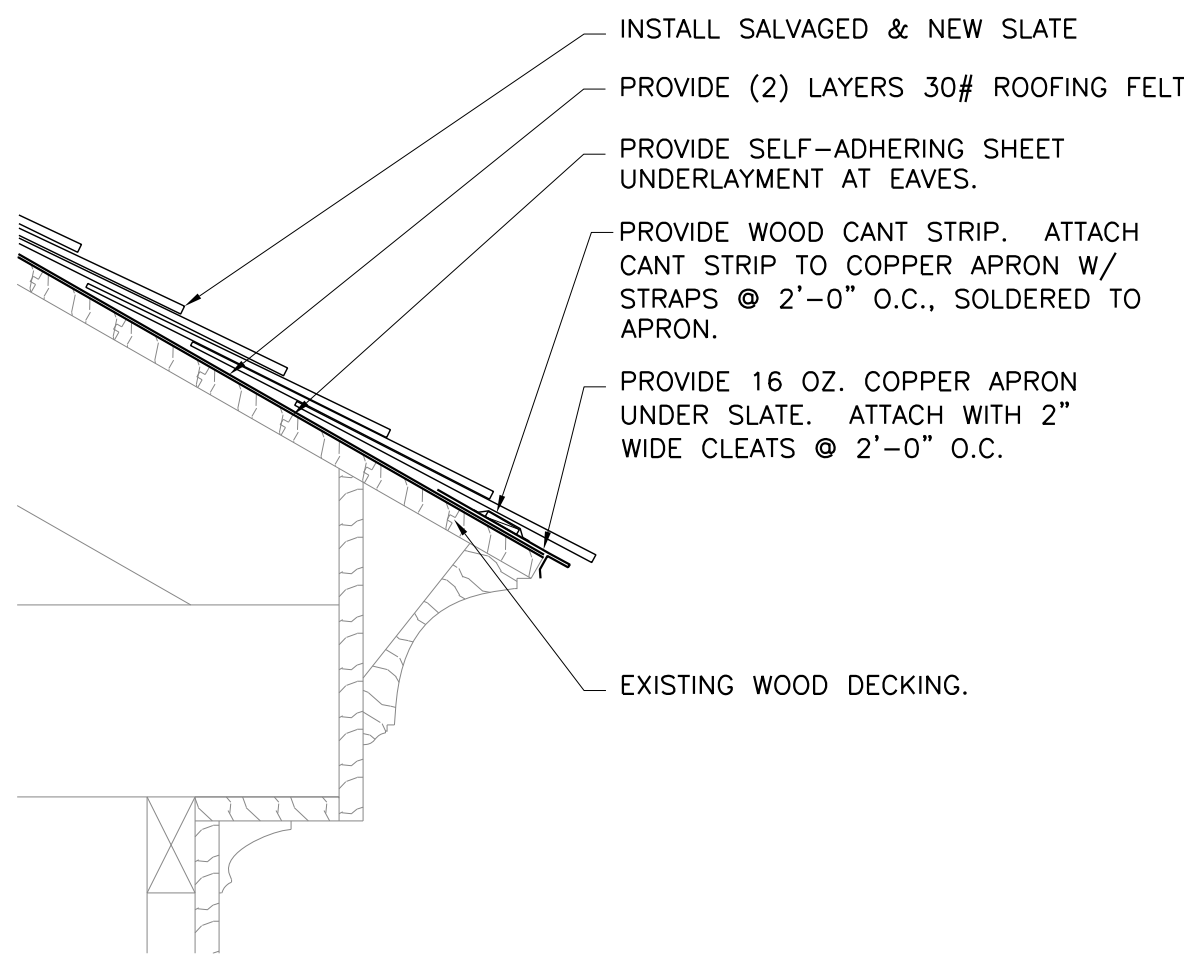
3-8 NOT USED
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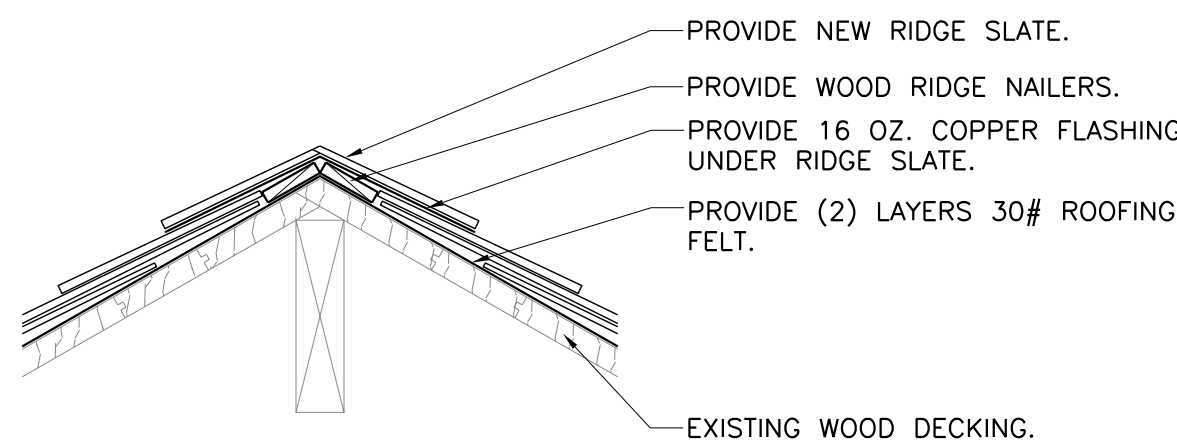
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CONTRACTOR		PROJECT COORDINATOR	
NAME		NAME	
SIGNATURE		SIGNATURE	
TITLE		TITLE	
WESTCHESTER COUNTY, NEW YORK		CONTRACT NUMBER	SHEET NUMBER
DEPARTMENT OF PUBLIC WORKS		15-556	A5.03
DIVISION OF ENGINEERING		SHEET NO. 26 OF 30	
MAIN HOUSE REHABILITATION - MERESTEAD		SCALE: AS SHOWN	
BEDFORD AND NEW CASTLE, NEW YORK		DATE: 06/07/19	
ROOF DETAILS		DPW FILE NO.	REV. NO.
		92-01-A-53-0	0



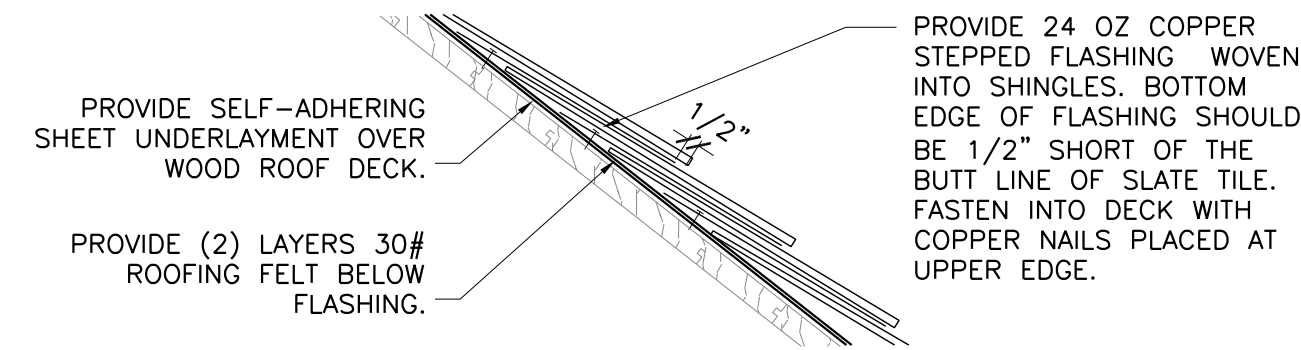
11 SLATE ROOF DORMER EDGE

1 1/2" = 1'-0"



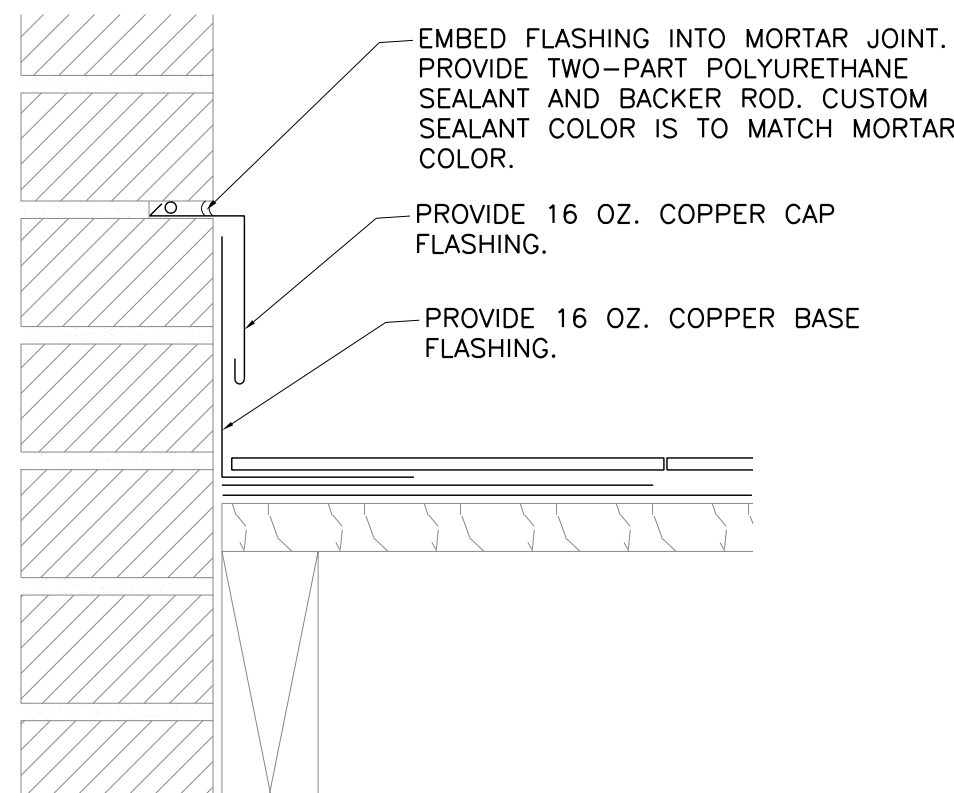
12 SLATE ROOF DORMER RIDGE

1 1/2" = 1'-0"



13 SLATE ROOF WOVEN STEPPED FLASHING

1 1/2" = 1'-0"



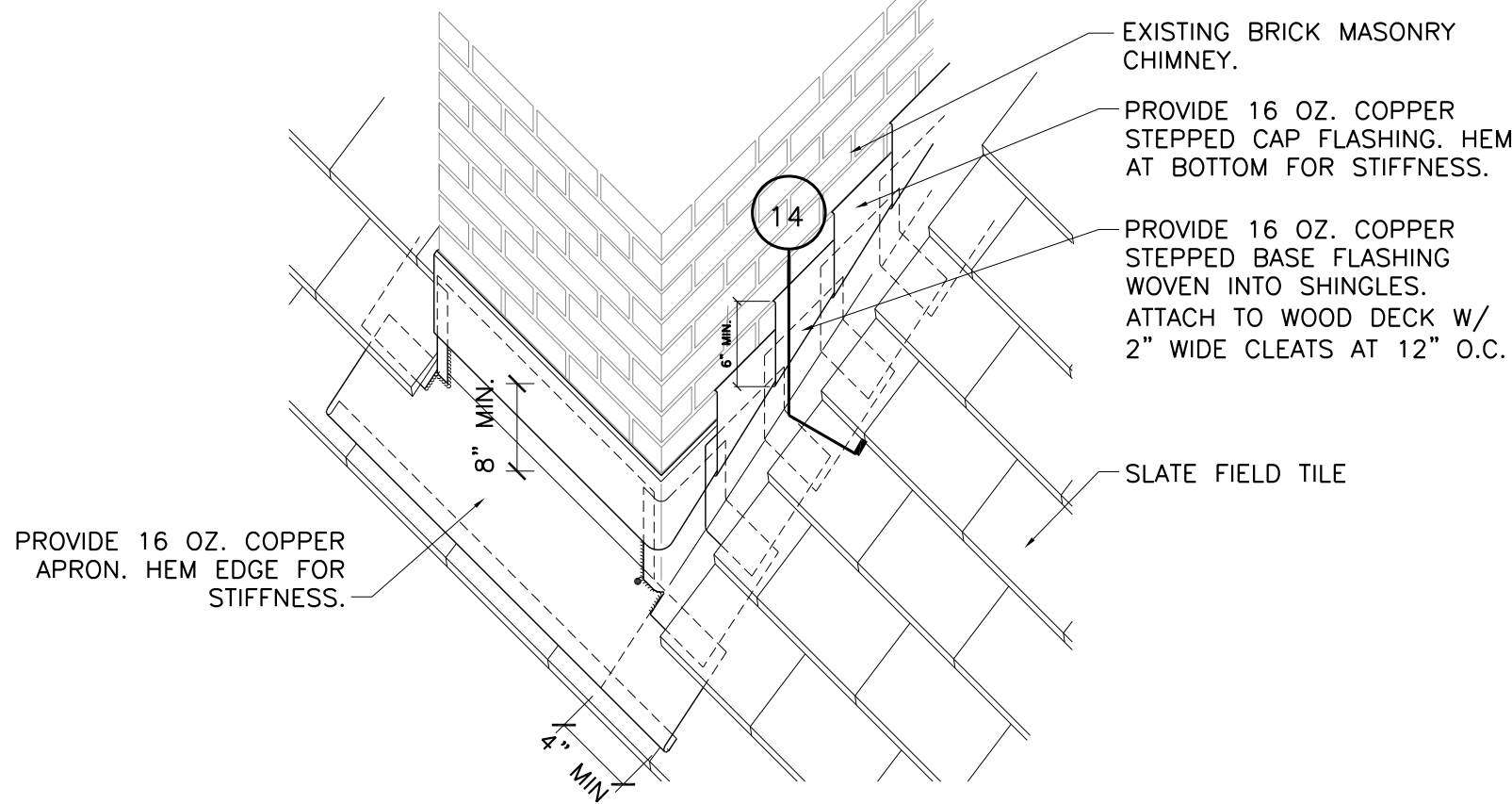
14 SLATE ROOF CAP FLASHING DETAIL

1 1/2" = 1'-0"

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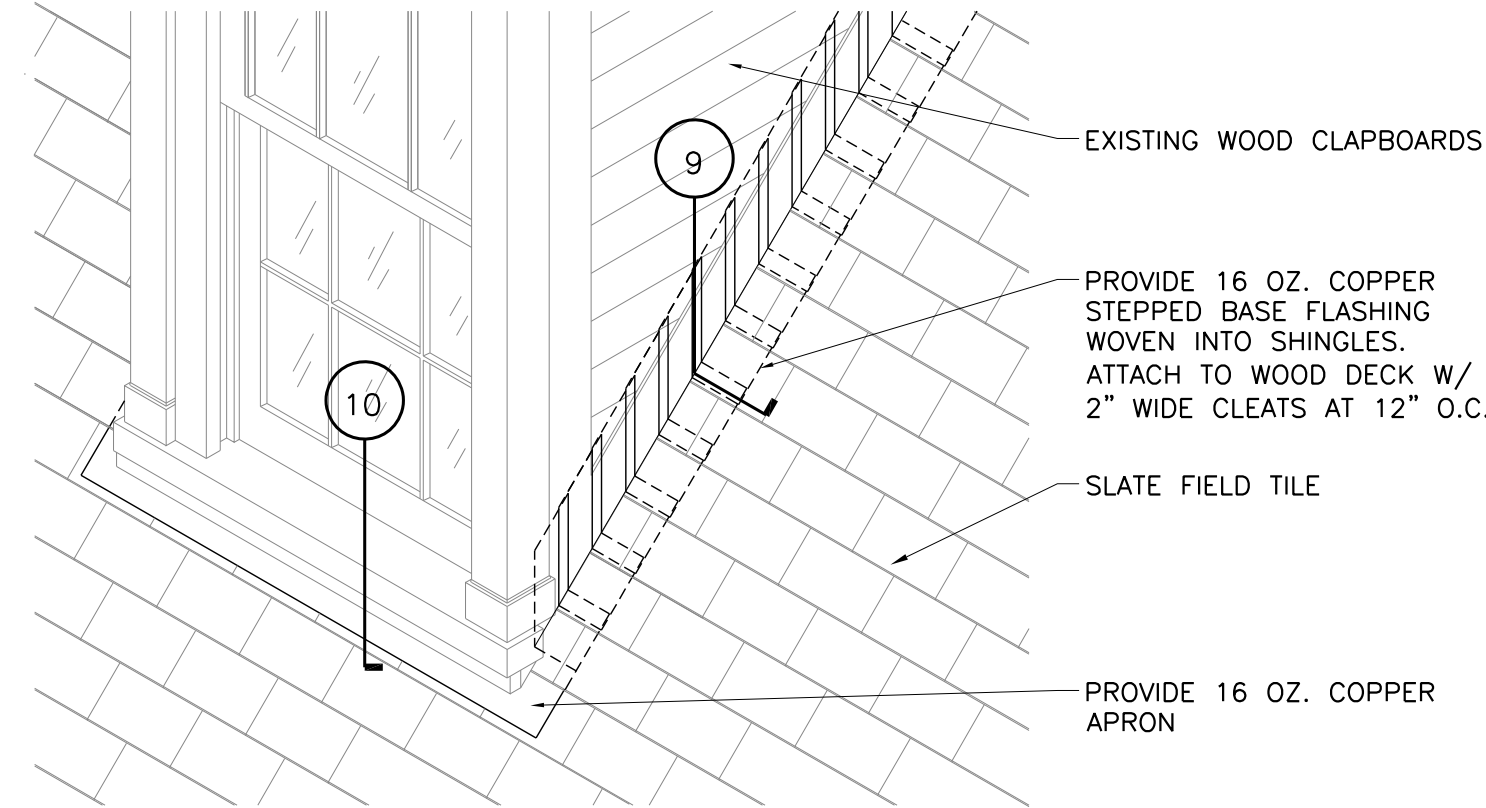
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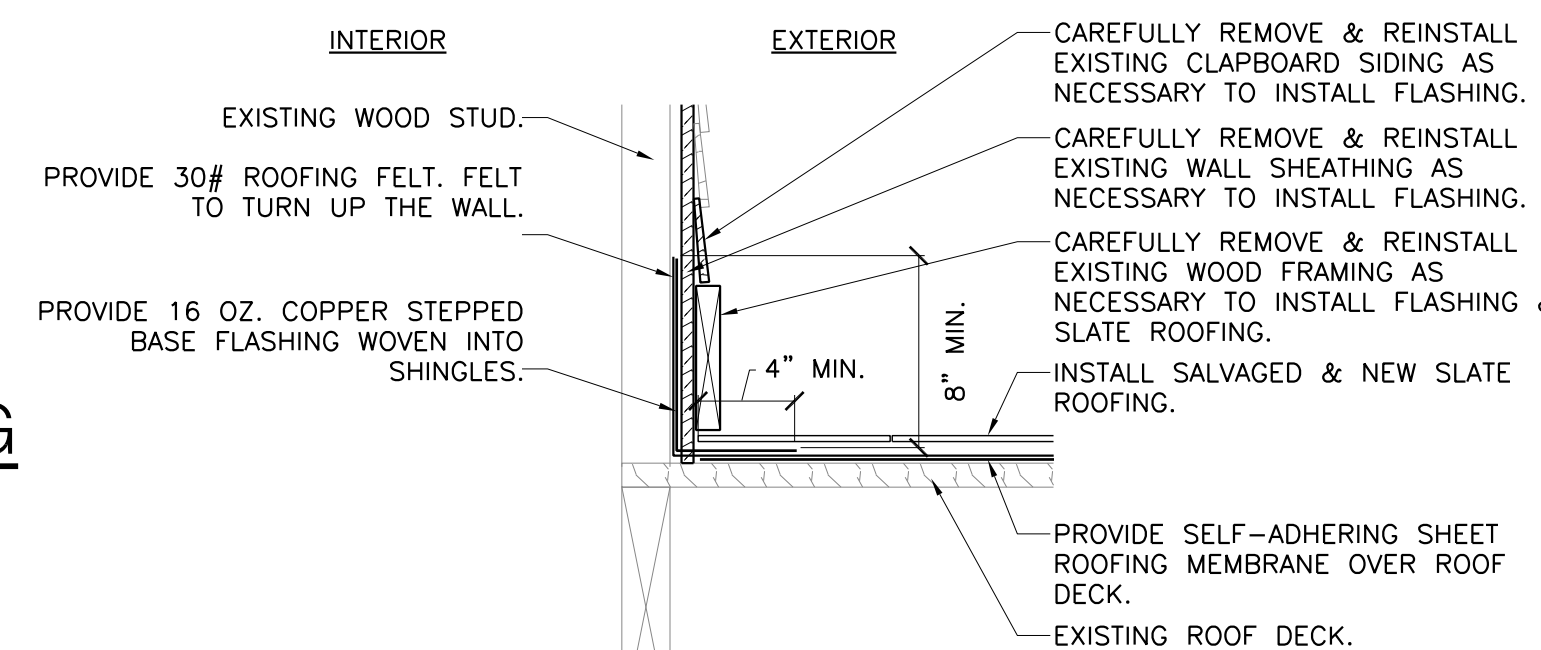
7 SLATE ROOF CHIMNEY FLASHING

3/4" = 1'-0"



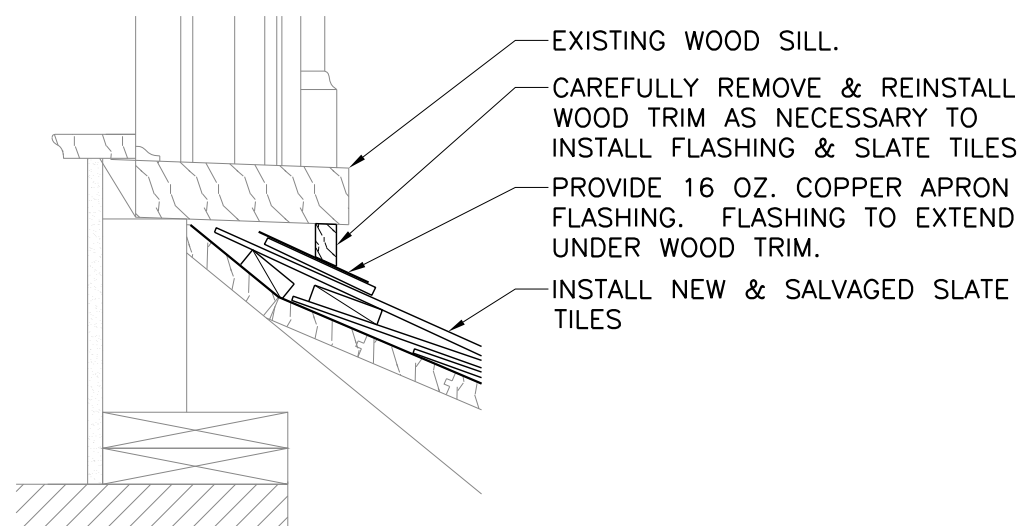
8 SLATE ROOF DORMER FLASHING

3/4" = 1'-0"



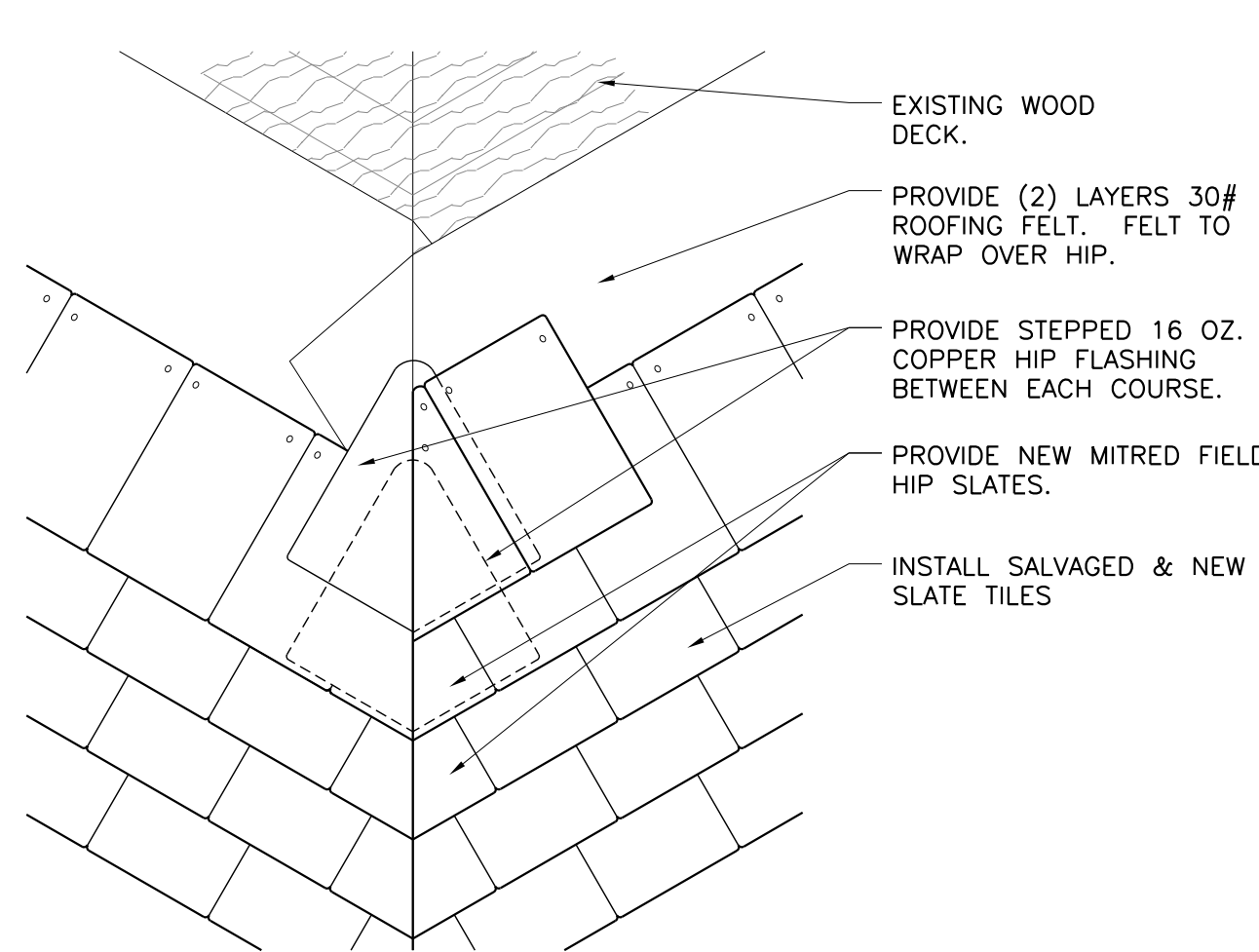
9 SLATE ROOF DORMER FLASHING

3/4" = 1'-0"



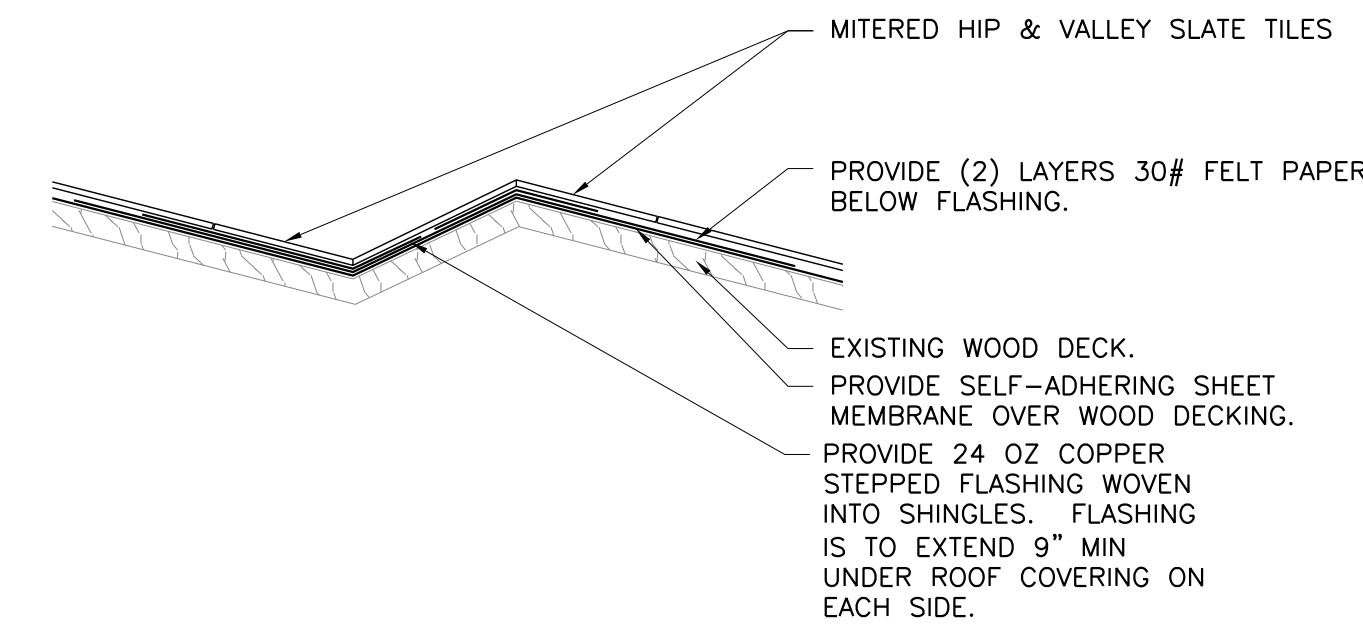
10 SLATE ROOF CHIMNEY FLASHING

3/4" = 1'-0"



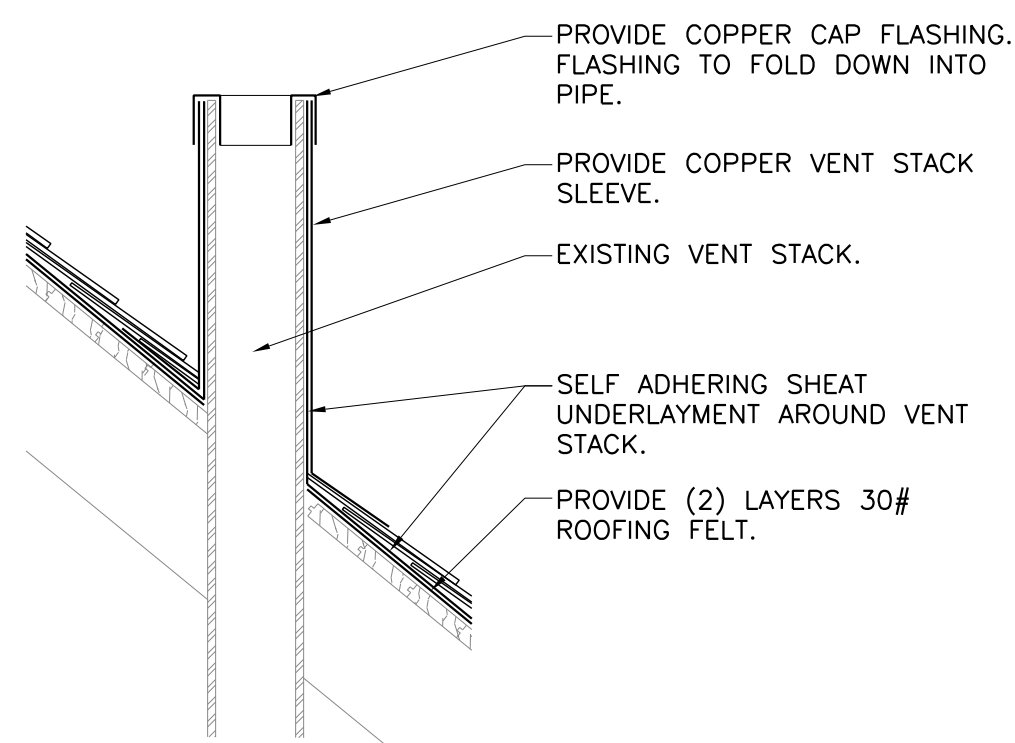
3 SLATE ROOF RIDGE

1" = 1'-0"



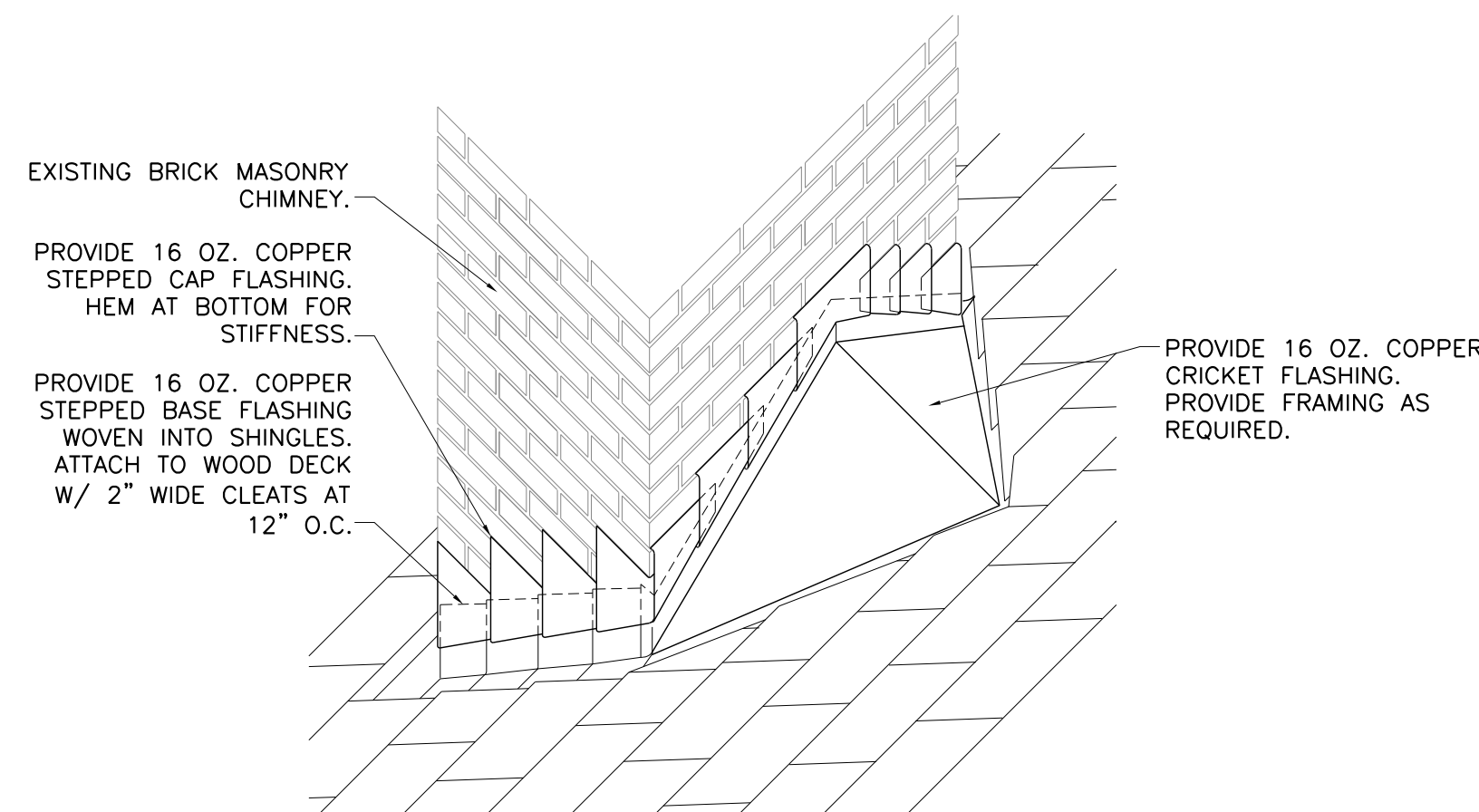
4 SLATE ROOF VALLEY/RIDGE FLASHING

1 1/2" = 1'-0"



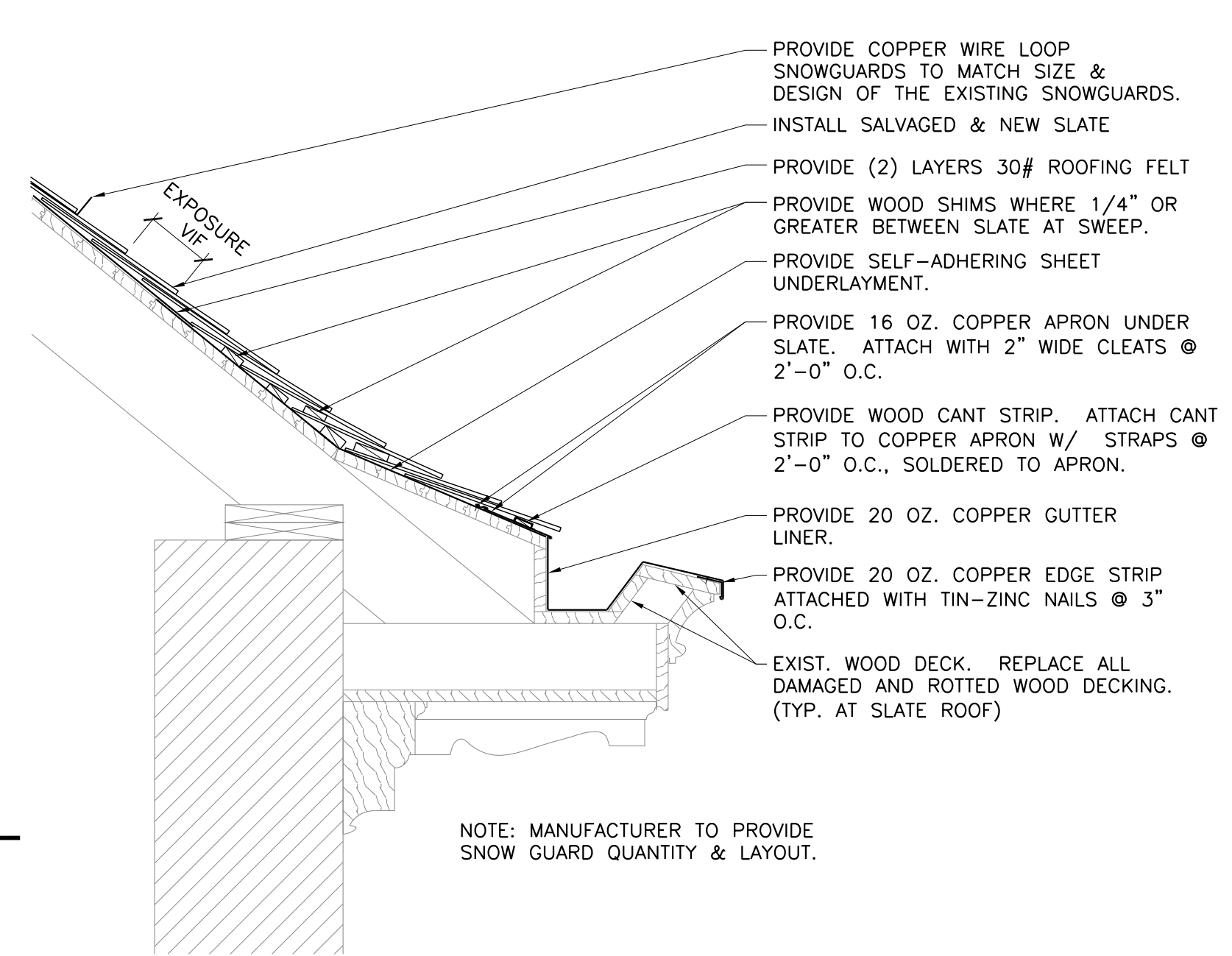
5 SLATE ROOF VENT STACK FLASHING

1" = 1'-0"



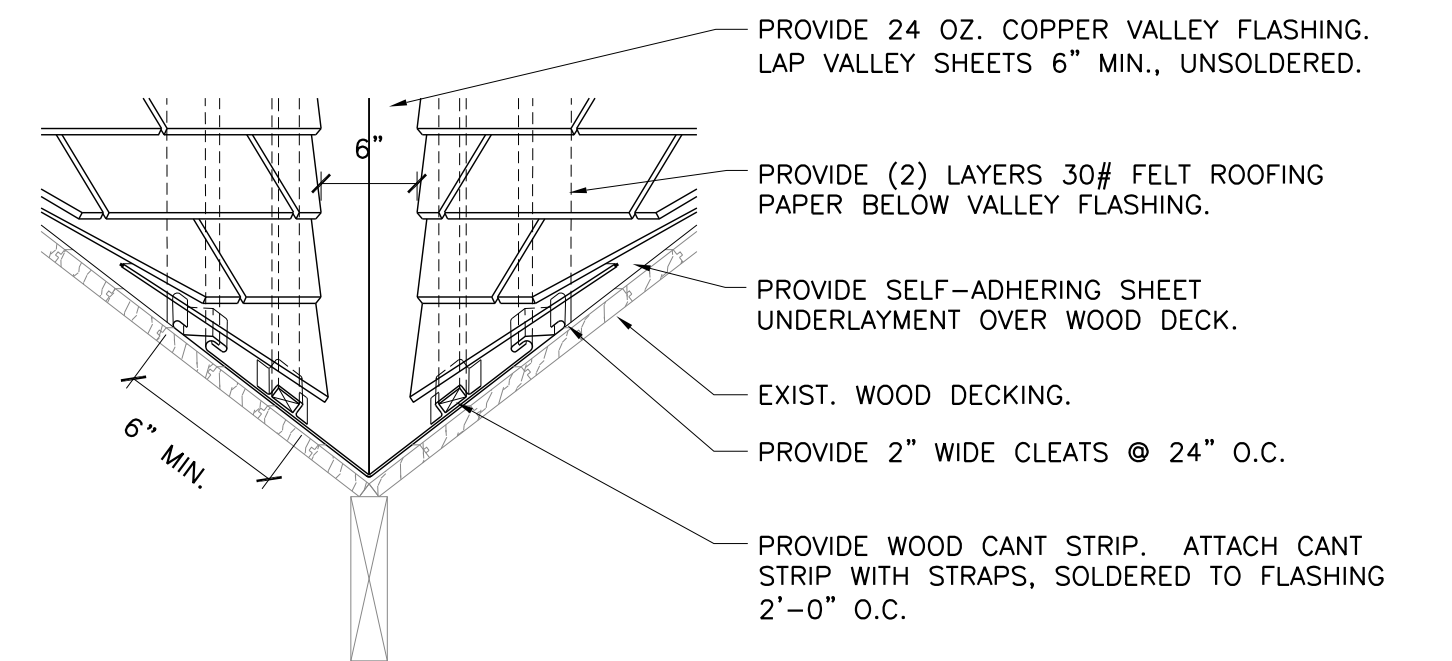
6 SLATE ROOF CHIMNEY FLASHING

3/4" = 1'-0"



1 SLATE ROOF SWEEP/BUILT IN GUTTER

1" = 1'-0"



2 SLATE ROOF OPEN VALLEY FLASHING

1" = 1'-0"

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TITLE		TITLE	
WESTCHESTER COUNTY, NEW YORK		CONTRACT NUMBER	SHEET NUMBER
DEPARTMENT OF PUBLIC WORKS		15-556	A5.04
DIVISION OF ENGINEERING		SHEET NO. 27 OF 30	
MAIN HOUSE REHABILITATION - MERESTEAD		SCALE: AS SHOWN	
BEDFORD AND NEW CASTLE, NEW YORK		DATE: 06/07/19	
		DPW FILE NO.	REV. NO.
		92-01-A-54-0	0
ROOF DETAILS			



12 PHOTO OF ENTRANCE PORCH ROOFS
NTS



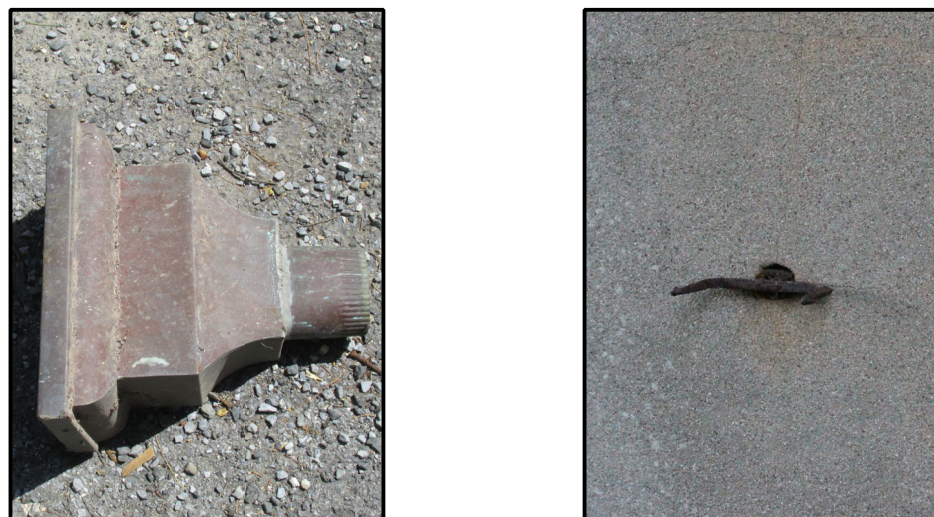
13 PHOTO OF SERVANT'S PORCH GUTTER
NTS



14 PHOTO OF SERVANT'S ROOF SCUPPERS
NTS



15 PHOTO OF DOWNSPOUT OFFSETS
NTS



16 PHOTO OF CONDUCTOR HEAD & DOWNSPOUT HANGER
NTS

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IN CHARGE OF _____
CHECKED BY _____
MADE BY _____



7 PHOTO OF CHIMNIES ON SLATE ROOF
NTS



8 PHOTO OF FLAT ROOF & CHIMNIES
NTS



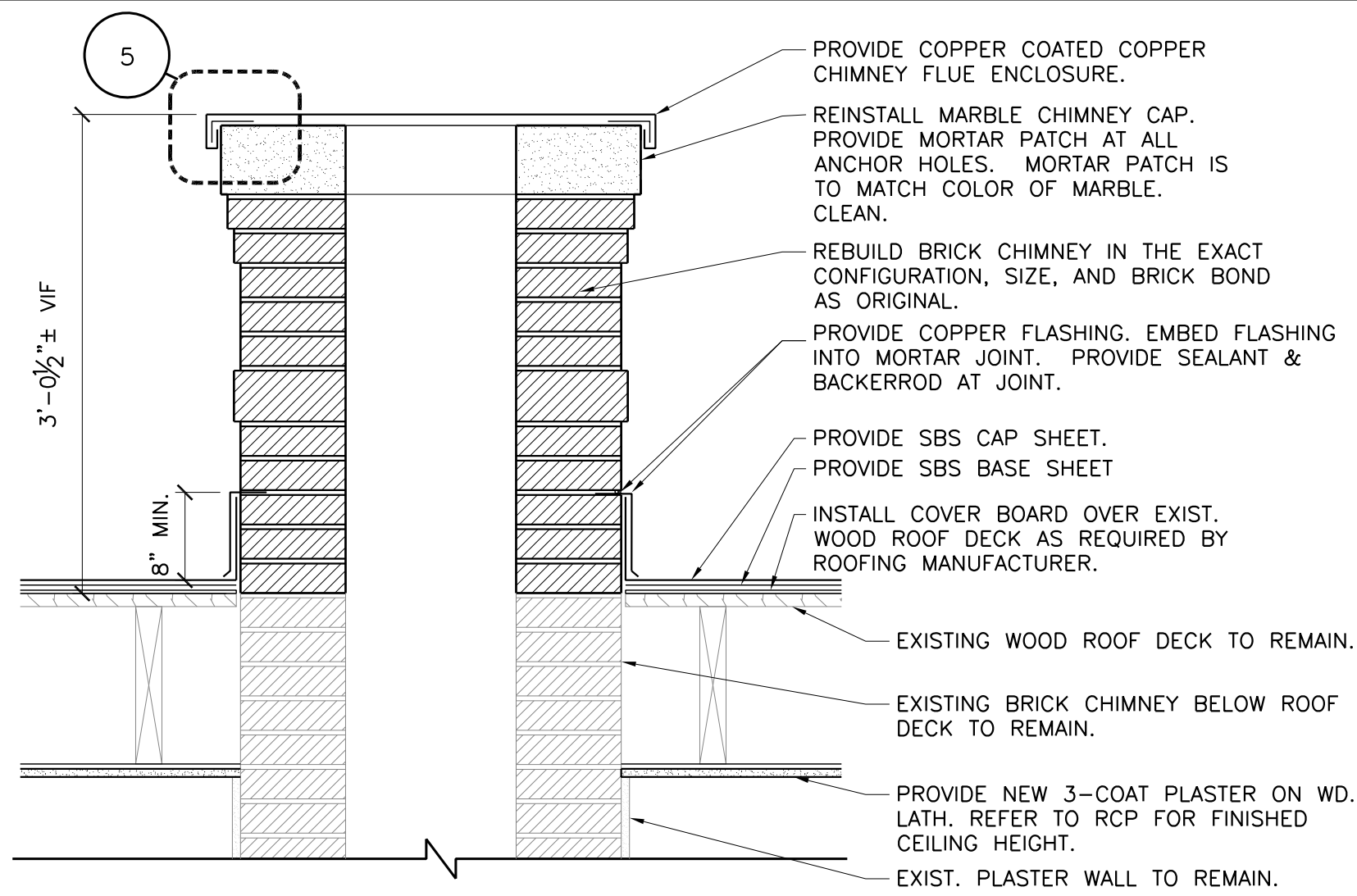
9 PHOTO OF FLAT ROOF CORNER
NTS



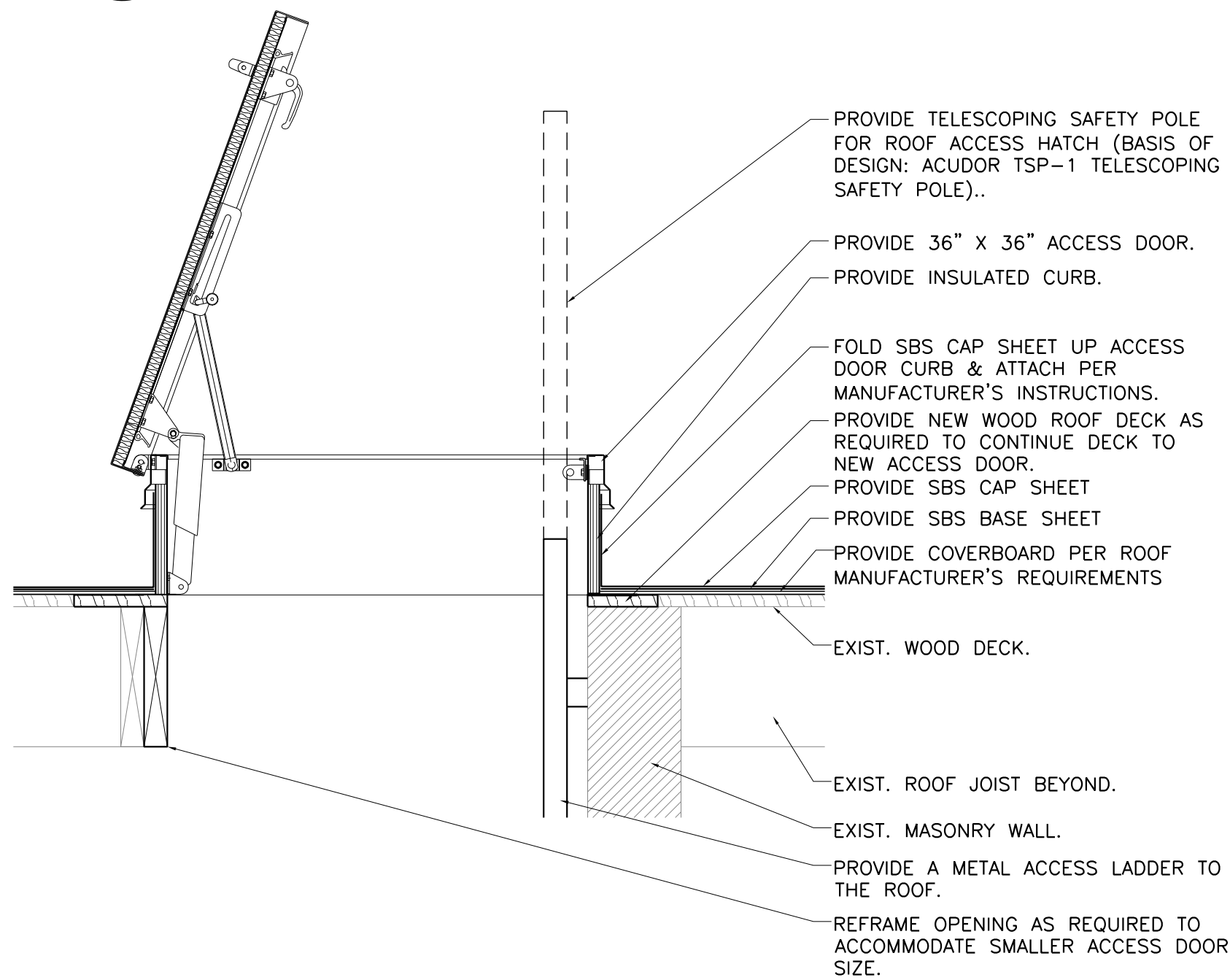
10 PHOTO OF SERVANT'S ROOF
NTS



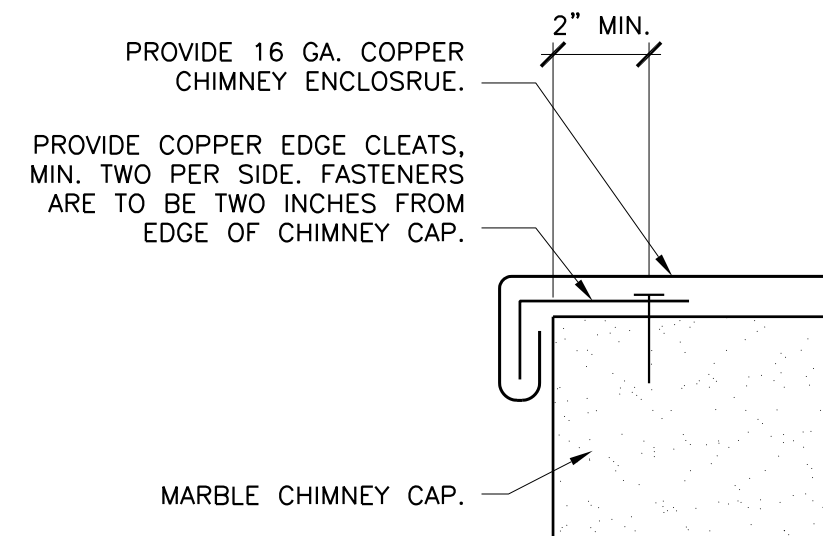
11 PHOTO OF SERVANT'S PORCH ROOF
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3 FLAT ROOF CHIMNEY REBUILD/FLASHING
1" = 1'-0"



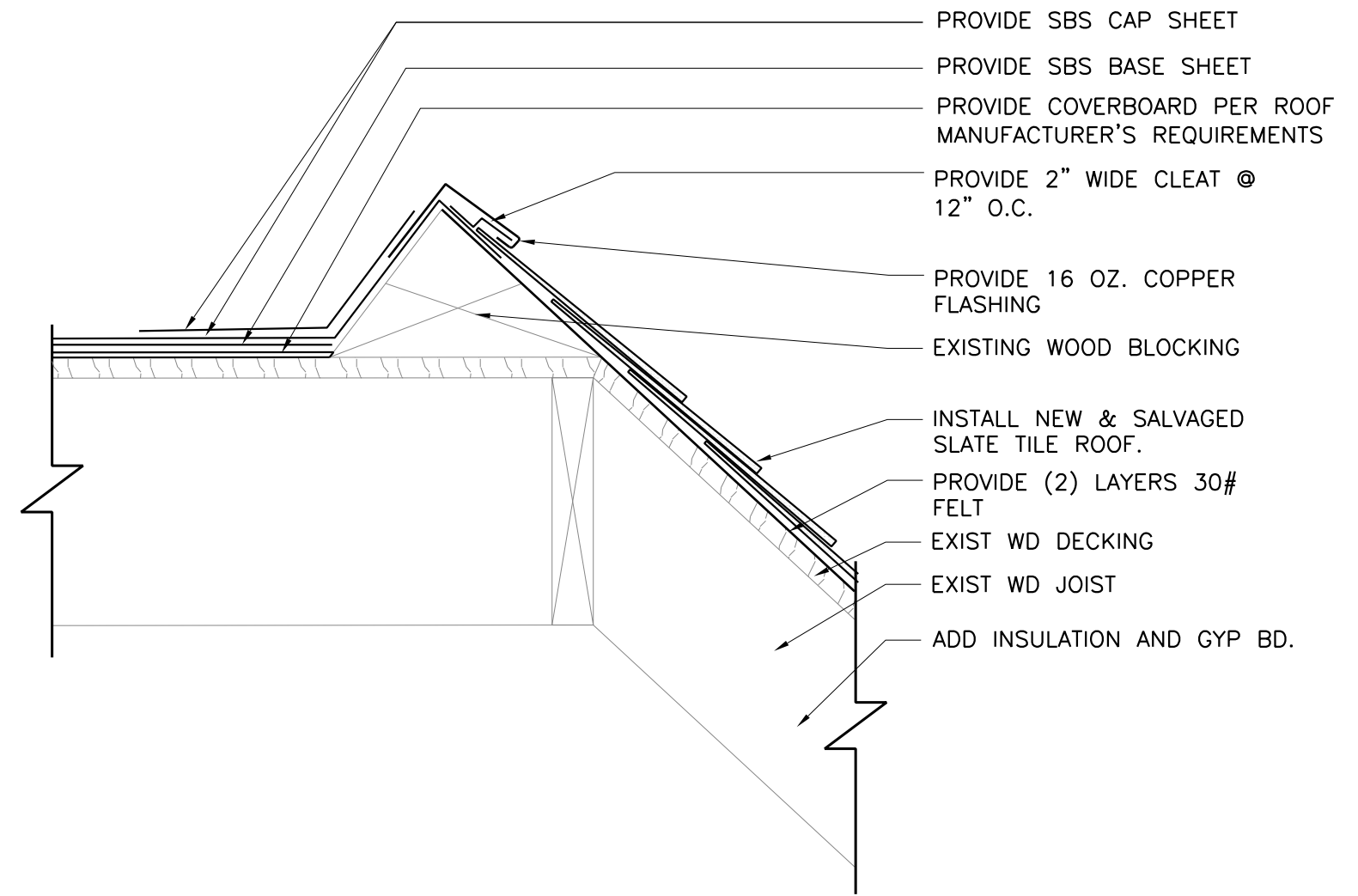
4 FLAT ROOF ROOF HATCH
1" = 1'-0"



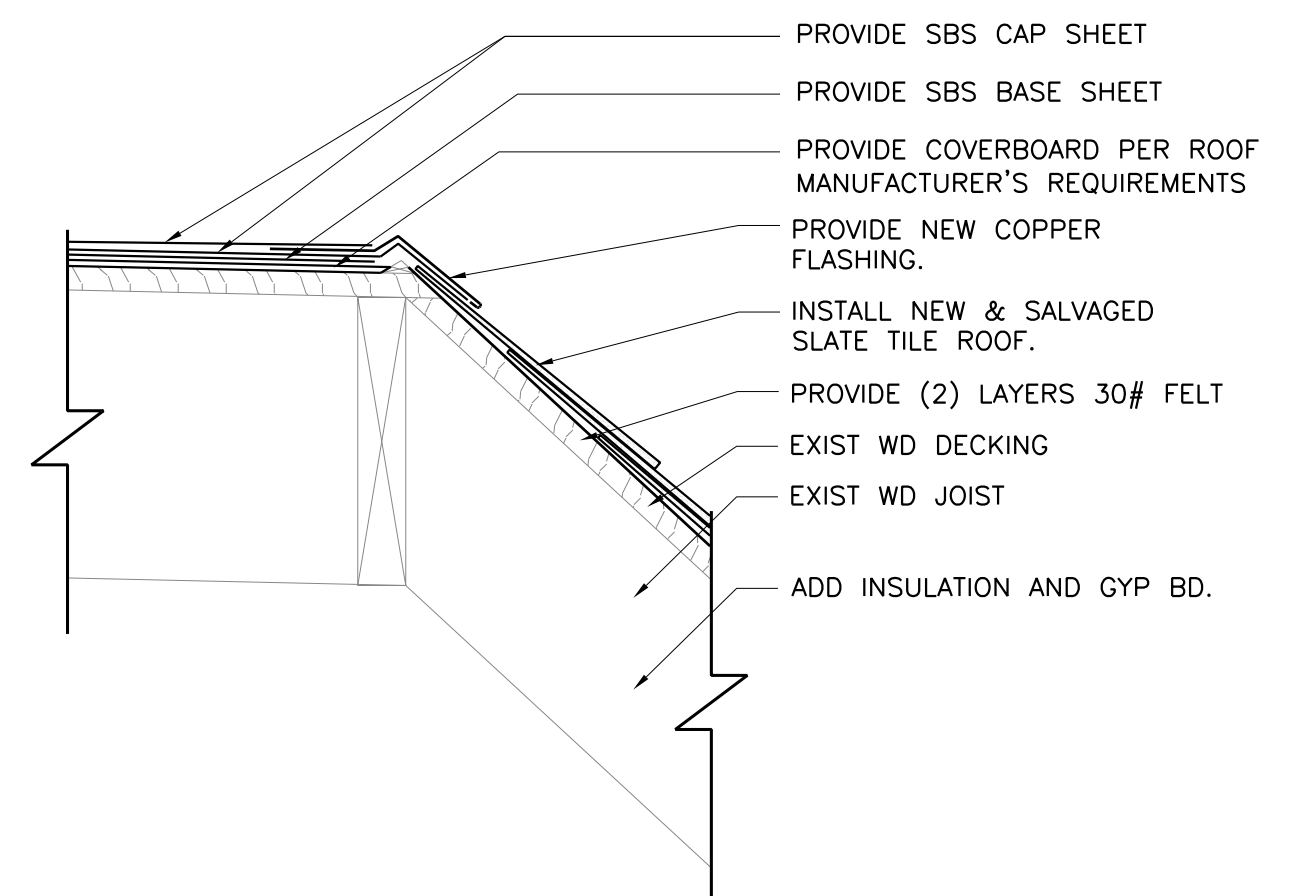
5 CHIMNEY ENCLOSURE EDGE DETAIL
3\"/>



6 PHOTO OF SLATE ROOF & DORMERS
NTS



1 SLATE ROOF/FLAT ROOF TRANSITION
1 1/2\"/>



2 SLATE ROOF/FLAT ROOF TRANSITION
1 1/2\"/>

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1	06/07/19	RC	EK	ISSUED FOR BID
REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION
RECORD DRAWING CERTIFICATION				
<input type="checkbox"/> AS BUILT - CHANGES AS NOTED <input type="checkbox"/> AS BUILT - NO CHANGES				
CONTRACTOR		PROJECT COORDINATOR		
NAME	DATE	NAME	DATE	
SIGNATURE		SIGNATURE		
TITLE		TITLE		
WESTCHESTER COUNTY, NEW YORK		CONTRACT NUMBER	SHEET NUMBER	
DEPARTMENT OF PUBLIC WORKS		15-556	A5.05	
DIVISION OF ENGINEERING		SHEET NO. 28 OF 30		
MAIN HOUSE REHABILITATION - MERESTEAD		SCALE: AS SHOWN		
BEDFORD AND NEW CASTLE, NEW YORK		DATE: 06/07/19		
		DPW FILE NO.	REV. NO.	
		92-01-A-55-0	0	
ROOF DETAILS				

IDENTIFICATION		SASH SIZE (INCHES) V.I.F.		RESTORATION TREATMENTS*					HARDWARE		SCREEN			SHUTTERS				
WINDOW #	TYPE	WIDTH	HEIGHT	FRAME	SASH	EXT. PT. COLOR	INT. PT. COLOR	GLAZING	SET #	TREATMENT	ON WIND. (Y/N)	SIZE (V/F)	TREATMENTS	ON WIND. (Y/N)	TYPE	SIZE (V/F)	TREATMENTS	PT. COLOR
001	A1	39.5"	31.5"	1	1	PT1	PT2	1, 2 (2 @ 35.5" W X 13.5" H)	A	1	NA	NA	NA	NA	NA	NA	NA	NA
002	A1	39.5"	31.5"	1	1	NA	PT2	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
003	A1	39.5"	31.5"	1	1	PT1	PT2	1, 2 (2 @ 35.5" W X 13.5" H)	A	1	NA	NA	NA	NA	NA	NA	NA	NA
004	A1	39.5"	31.5"	1	1	NA	PT2	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
005	A1	45"	37"	1	1	NA	PT2	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
006	A1	45"	47.5"	1, 4	1	PT1	PT2	1	A	1	NA	NA	NA	NA	NA	NA	NA	NA
007	A1	45"	47.5"	1	1	PT1	PT2	1, 2 (2 @ 35.5" W X 13.5" H)	A	1	NA	NA	NA	NA	NA	NA	NA	NA
008	A1	39.5"	48"	1	1	PT1	PT2	1, 2 (2 @ 35.5" W X 13.5" H)	A	1	NA	NA	NA	NA	NA	NA	NA	NA
101	A4	38.5"	47.5"	1	1	PT1	PT2	1, 2 (2 @ 8.75" X 10.25")	A	1	N	40 X 51	1	N	A	(2) 20 x 51	1, 2	PT1
102	A4	38.5"	47.5"	1	1	PT1	PT2	1, 2 (1 @ 8.75" X 10.25")	A	1	N	40 X 51	1	N	A	(2) 20 x 51	1, 2 (1), 3 (1)	PT1
103	A2	21.5"	47.5"	1	1	PT1	PT2	1	A	1	N	21x51	1	N	B	21x51	1, 2	PT1
104	A4	38.5"	47.5"	1	1	PT1	PT2	1, 5 (STICKER)	A	1, 2 (2 PULLS)	Y	40 X 51	1, 2	N	A	(2) 20 x 51	1, 2	PT1
105	A2	21.5"	47.5"	1	1	PT1	PT2	1	A	1	N	21x51	1	N	B	21x51	1, 2	PT1
106	A4	38.5"	47.5"	1	1	PT1	PT2	1	A	1	Y	40 X 51	1, 2	N	A	(2) 20 x 51	1, 2	PT1
107	A2	21.5"	47.5"	1	1	PT1	PT2	1	A	1	N	21x51	1	N	B	21x51	1, 2, 5	PT1
108	A4	38.5"	47.5"	1	1	PT1	PT2	1	A	1	Y	40 X 51	1, 2	N	A	(2) 20 x 51	1, 2	PT1
109	A2	21.5"	47.5"	1	1, 6 (1), 7 (1" DIA.)	PT1	PT2	1	A	1	N	21x51	1	N	B	21x51	1, 2, 5	PT1
110	A2	21.5"	47.5"	1	1	PT1	PT3	1, 2 (1 -V/F GL SIZE)	A	1	N	21x51	1	N	B	21x51	1, 2	PT1
111	A2	21.5"	47.5"	1	1	PT1	PT3	1	A	1	N	21x51	1	N	B	21x51	1, 2, 5	PT1
112	A2	21.5"	47.5"	1, 12	1	PT1	PT3	1	A	1	N	21x51	1	N	B	21x51	1, 2	PT1
113	A2	21.5"	47.5"	1, 12	1	PT1	PT3	1	A	1	N	21x51	1	N	B	21x51	1, 2	PT1
114	A6	60"	43"	1	1, 6 (1)	PT1	PT2	1, 2 (1 @ 12" X 10")	B	1	N	NA	NA	NA	NA	NA	NA	NA
115	A2	24.5"	45.75"	1	1	PT1	PT2	1	A	1	N	24 X 48	1	Y	B	24 X 48	1	PT1
116	A2	21.5"	47.5"	1	1	PT1	PT2	1	A	1	N	21x51	1	Y	B	21x51	1	PT1
117	A3	33.5"	45.75"	1	1	PT1	PT2	1, 2 (1 @ 9.75" X 9.385")	A	1	N	34 X 46	1	Y	A	(2) 17 X 46	1	PT1
118	A3	33"	45.75"	1	1	PT1	PT2	1, 2 (1 @ 9.75" X 9.385")	A	1	N	34 X 46	1	N	A	(2) 17 X 46	1, 2	PT1
119	C1	24"	36"	1	1	NA	PT2	1	NA	NA	N	NA	NA	NA	NA	NA	NA	NA
120	D	NA	NA	PREP & PAINT	PREP & PAINT	NA	PT2	1	D	1, 2 (PULL CHAIN)	N	NA	NA	NA	NA	NA	NA	NA
201	B	38.75"	30.5"	1	1, 6 (1), 12 (3" X 1" X 1/2"), 8	PT1	PT2	1	E	1		40 X 36		N	C	(2) 20x36	1, 2, 4	PT4
202	B	38.75"	30.5"	1, 5 (WOOD @ SLL)	1, 6 (1), 12 (3" X 1" X 1/2"), 8	PT1	PT2	1	E	1	N	40 X 36	1	N	C	(2) 20x36	1, 2, 4	PT4
203	B	38.75"	30.5"	1	1, 12 (7" X 1" @ BOT. SILE OF SASH W/ LATCH CATCH)	PT1	PT2	1	E	1, 2 (TOP BOLT KNOB)	N	40 X 36	1	N	C	(2) 20x36	1, 2, 4	PT4
204	B	38.75"	30.5"	1	1, 8, 12 (7" X 1" @ BOT. SILE OF SASH W/ LATCH CATCH)	PT1	PT2	1	E	1	N	40 X 36	1	N	C	(2) 20x36	1, 2, 4	PT4
205	B	38.75"	30.5"	1	1, 12 (3" X 1" @ SASH W/ LATCH CATCH)	PT1	PT2	1	E	1	N	40 X 36	1	N	C	(2) 20x36	1, 2, 4	PT4
206	A3	37"	56.5"	1	1, 8	PT1	PT2	1	C	1	N	38 X 57	1	N	D	(2) 19 x 57	1, 2	PT4
207	A3	37"	56.5"	1	1	PT1	PT2	1	C	1	N	38 X 57	1, 2	N	D	(2) 19 x 57	1, 2	PT4
208	A3	37"	56.5"	1	1	PT1	PT2	1, 8	C	1	N	38 X 57	1	N	D	(2) 19 x 57	1, 2	PT4
209	A3	37"	56.5"	1	1	PT1	PT2	1	C	1	Y	38 X 57	1, 2	N	D	(2) 19 x 57	1, 2	PT4
210	A3	37"	56.5"	1	1	PT1	PT2	1, 2 (1 -V/F GL SIZE)	C	1	N	38 X 57	1	N	D	(2) 19 x 57	1, 2	PT4
211	A3	37"	56.5"	1	1	PT1	PT2	1	C	1	N	38 X 57	1	N	D	(2) 19 x 57	1, 2	PT4
212	A3	37"	56.5"	1	1	PT1	PT2	1	C	1	N	38 X 57	1	N	D	(2) 19 x 57	1, 2	PT4
213	A3	37"	56.5"	1	1	PT1	PT2	1	C	1	N	38 X 57	1	N	D	(2) 19 x 57	1, 2	PT4
214	A3	37"	56.5"	1	1	PT1	PT2	1, 2 (1 -V/F GL SIZE)	C	1	N	38 X 57	1	N	D	(2) 19 x 57	1, 2	PT4
215	A3	37"	56.5"	1, 5 (WOOD ON STOP)	1	PT1	PT2	1	C	1	Y	38 X 57	1, 2	N	D	(2) 19 x 57	1, 2	PT4
216	A3	37"	56.5"	1	1	PT1	PT2	1, 2 (1 -V/F GL SIZE)	C	1	Y	38 X 57	1, 2	N	D	(2) 19 x 57	1, 2	PT4
217	A3	37"	56.5"	1	1	PT1	PT2	1	C	1	Y	38 X 57	1, 2	N	D	(2) 19 x 57	1, 2	PT4
218	A3	37"	56.5"	1	1	PT1	PT2	1	C	1	Y	38 X 57	1, 2	N	D	(2) 19 x 57	1, 2	PT4
219	A3	37"	56.5"	1	1	PT1	PT2	1	C	1	Y	38 X 57	1, 2	N	D	(2) 19 x 57	1, 2	PT4
220	A3	37"	56.5"	1	1	PT1	PT2	1	C	1	Y	38 X 57	1, 2	N	D	(2) 19 x 57	1, 2	PT4
221	A3	37"	56.5"	1	1	PT1	PT2	1	C	1	Y	38 X 57	1, 2	N	D	(2) 19 x 57	1, 2	PT4
222	A3	37"	56.5"	1	1	PT1	PT2	1	C	1	Y	38 X 57	1, 2	N	D	(2) 19 x 57	1, 2	PT4
223	A3	37"	56.5"	1	1	PT1	PT2	1	C	1	Y	38 X 57	1, 2	N	D	(2) 19 x 57	1, 2	PT4
224	A3	37"	56.5"	1	1	PT1	PT2	1	C	1	Y	38 X 57	1, 2	N	D	(2) 19 x 57	1, 2	PT4
225	E	V/F	V/F	1	1	PT1	PT2	1	F	1	N	NA	NA	NA	NA	NA	NA	PT4
226	A2	24.5"	56.5"	1, 5 (PULLEYS, HOOKS, BLINDS, & BLIND HDW)	1	PT1	PT2	1	A	1	N	26 X 57	1	N	D	(2) 13x57	3	PT4
227	B	38.75"	30.5"	1	1, 8	PT1	PT2	1	C	1	N	40 X 36	1	N	C	(2) 20x36	1, 2, 4, 5 (1)	PT4
228	B	38.75"	30.5"	1	1, 9	PT1	PT2	1	E	1	N	40 X 36	1	N	C	(2) 20x36	1, 2, 4	PT4
229	B	38.75"	30.5"	1	1, 9	PT1	PT2	1, 2 (2 @ 7.75" X 8")	C	1, 2 (TOP & BOT. BOLT)	N	40 X 36	1	N	C	(2) 20x36	1, 2, 4	PT4
230	B	38.75"	30.5"	1	1, 5 (CURTAIN ROD & BRACKETS)	PT1	PT2	1, 2 (2 @ 7.75" X 8")	C	1, 2 (BOT. BOLT)	N	40 X 36	1	N	C	(2) 20x36	1, 2, 4	PT4
231	B	38.75"	30.5"	1	1, 6	PT1	PT2	1	C	1	Y	40 X 36	1, 2	N	C	(2) 20x36	1, 2, 4	PT4
232	B	38.75"	30.5"	1	1, 6	PT1	PT2	1	C	1	N	40 X 36	1	N	C	(2) 20x36	1, 2, 4	PT4
233	C1	30"	18"	1	1	NA	PT2	1	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
234	C2	11"	25.5"	1	1	NA	PT2	1	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
301	A5	30"	62"	1	1, 5 (PULLEYS), 13	PT1	PT2	1	C	1	NA	NA	NA	NA	E	V/F	1	PT2
302	A5	30"	62"	1	1, 13	PT1	PT2	1, 2 (1 @ TOP SASH 8.75" X 15" & 1 @ BOT. SASH 8.5" X 12.5")	C	1	NA	NA	NA		E	V/F	1	PT2
303	A5	30"	62"	1	1, 13	PT1	PT2	1, 2 (1 @ BOT. SASH 8.5" X 12.5")	C	1	NA	NA	NA		E	V/F	1	PT2
304	A5	30"	62"	1	1, 13	PT1	PT2	1	C	1	NA	NA	NA		E	V/F	1	PT2
305	A5	30"	62"	1	1, 13	PT1	PT2	1	C	1, 2 (SASH LOCK)	NA	NA	NA		E	V/F	1	PT2
306	A5	30"	62"	1	1, 13, 14 (BOT. RAIL OF LOWER SASH & WOOD SILL)	PT1	PT2	1, 2 (1 @ BOT. SASH 8.5" X 12.5")	C	1	NA	NA	NA		E	V/F	1	PT2
307	A5	30"	62"	1	1, 13	PT1	PT2	1	C	1	NA	NA	NA		E	V/F	1	PT2
308	A5	30"	62"	1	1, 13	PT1	PT2	1	C	1	NA	NA	NA		E	V/F	1	PT2
309	A5	30"	62"	1	1, 13	PT1	PT2	1	C	1	NA	NA	NA		E	V/F	1	PT2
310	A5	30"	62"	1	1, 13	PT1	PT2	1	C	1	NA	NA	NA		E	V/F	1	PT2
311	A5	30"	62"	1	1, 13	PT1	PT2	1	C	1	NA	NA	NA		E	V/F	1	PT2
312	A5	30"	62"	1	1, 13	PT1	PT2	1	C	1	NA	NA	NA		E	V/F	1	PT2
313	A5	30"	62"	1	1, 13	PT1	PT2	1, 2 (1 @ BOT. SASH 8.5" X 12.5")	C	1	NA	NA	NA		E	V/F	1	PT2

- WINDOW HARDWARE SETS:

A

(2) EXIST. BRONZE RECTANGULAR INSET PULLS

(1) EXIST. BRONZE SASH LOCK

EXIST. BRONZE SCREWS & INSET WASHERS AT INTERIOR STOPS

(2) EXIST. BRONZE RECTANGULAR INSET PULLS

(3) EXIST. BRONZE SASH LOCK

EXIST. BRONZE SCREWS & RECESSED WASHERS AT INTERIOR STOPS

(2) EXIST. BRONZE OVAL INSET PULLS

(1) EXIST. BRONZE SASH LOCK

(1) EXIST. BRONZE TOP LATCH

(2) EXIST. BRONZE BUTTHINGES

(1) METAL TURN LATCH

(1) METAL TOP BOLT

(1) METAL BOTTOM BOLT

(4) METAL BUTT HINGES W/ BALL FINIALS

(3) BRONZE TURN LATCH W/ OVAL BACKPLATE

(6) BRONZE BUTTHINGES W/ BALL FINIALS

(3) BRONZE SLIDING BAR HOLD OPENS

(1) BRONZE LATCH

(2) BRONZE CHAINS & ATTACHMENT HARDWARE
- PAINT COLORS:

PT1

OFF-WHITE (MUNSELL 5Y 9/1 OR BEN. MOORE OC-94 "WINDSWEEP"); SEMI-GLOSS.

PT2

OFF-WHITE (MUNSELL 5Y 9/1 OR BEN. MOORE OC-87 "CAPRI COAST"); SATIN GLOSS.

PT3

CREAM (MUNSELL 5Y 9/2 OR BEN. MOORE 191 "MACADAMIA NUT"); SATIN GLOSS.

PT4

DARK GREEN (MUNSELL 2.5 BG 3/2 OR BEN. MOORE "ESSEX GREEN")

3

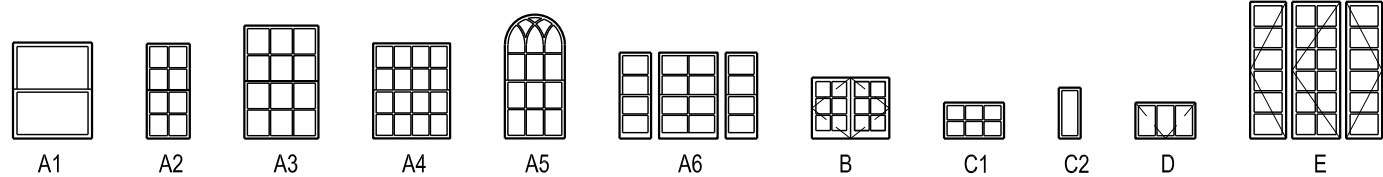
PAINT COLOR TYPES

SCALE: NTS

4

WINDOW HARDWARE SETS (LEFT)

SCALE: NTS



- WINDOW TYPES:
- A

DOUBLE-HUNG (WITH THE POSSIBLE



DOOR SCHEDULE																											
DOOR						FRAME				THRESHOLD		HARDWARE				SCREEN/LOUVERED DOOR						SHUTTERS					
DOOR#	SIZE	TYPE	MAT'L	NEW FINISH	TREATMENT*	TYPE	MAT'L	NEW FINISH	TREATMENT*	MAT'L	TREATMENT	TYPE	TREATMENT	EXIST. W/LFLR DOOR/STOP (Y/N)	PROVIDE NEW (Y/N)	TYPE	MAT'L	NEW FINISH	TREATMENT	HOW TYPE	HOW TREATMENT	ON DOOR. (Y/N)	TYPE	SIZE (VIF)	TREATMENTS	MISC. NOTES	
013	33" X 77" X 1.75"	D5	WD	PT	4 (TOP & BOT. PANELS)	F5	WD	PT	REFER TO GEN. NOTES	CONC./M TL	3, 4	H	1, 2, 3	N	N	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	PROVIDE NEW METAL THRESHOLD.	
101A	(2) 33" X 126"	D1	WD	PT	REFER TO GEN. NOTES	F1	WD	PT	REFER TO GEN. NOTES	MBL	2	A	1, 2, 3	Y	N	S1	WD	PT	5 (PT1), 12	B	1, 5 (HINGES-PT1), 7 (DR. LATCH)	NA	NA	NA	NA		
105A	(2) 24" X 84"	D4	WD	PT	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	C	1, 2, 4 (1-HOLD-OPEN; 2-RUBBER PADS ON BOTTOM OF HOLD-OPENS)	N	N	NA	NA	N	NA	NA	NA	N	E	(2) 24 X 109	1, 2		
105B	(2) 24" X 84"	D4	WD	PT	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	C	1, 2, 4 (2-RUBBER PADS ON BOTTOM OF HOLD-OPENS)	N	N	NA	NA	NA	NA	NA	NA	N	E	(2) 24 X 109	1, 2		
105C	(2) 24" X 84"	D4	WD	PT	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	C	1, 2, 4 (1-HOLD-OPEN; 2-RUBBER PADS ON BOTTOM OF HOLD-OPENS)	N	N	NA	NA	NA	NA	NA	NA	N	E	(2) 24 X 109	1, 2		
106B	(2) 24" X 84"	D4	WD	PT	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	C	1, 2, 4 (2-RUBBER PADS ON BOTTOM OF HOLD-OPENS)	N	N	NA	NA	NA	NA	NA	NA	Y	E	(2) 24 X 109	1		
106C	(2) 24" X 84"	D4	WD	PT	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	C	1, 2, 4 (2-RUBBER PADS ON BOTTOM OF HOLD-OPENS)	N	N	NA	NA	NA	NA	NA	NA	Y	E	(2) 24 X 109	1		
106D	(2) 24" X 84"	D4	WD	PT	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	C	1, 2, 4 (2-RUBBER PADS ON BOTTOM OF HOLD-OPENS)	N	N	NA	NA	NA	NA	NA	NA	N	E	(2) 24 X 109	1, 2		
106E	(2) 24" X 84"	D4	WD	PT	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	C	1, 2, 4 (2-RUBBER PADS ON BOTTOM OF HOLD-OPENS)	N	N	NA	NA	NA	NA	NA	NA	N	E	(2) 24 X 109	1, 2		
106F	(2) 24" X 84"	D4	WD	PT	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	C	1, 2, 4 (2-RUBBER PADS ON BOTTOM OF HOLD-OPENS)	N	N	NA	NA	NA	NA	NA	NA	N	E	(2) 24 X 109	1, 2		
107	(2) 24" X 84"	D2	WD	PT	REFER TO GEN. NOTES	F2	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	D	1	Y	N	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA		
108D	(2) 24" X 84"	D4	WD	PT	3 (60")	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	C	1, 2, 4 (2-HOLD-OPENS)	N	N	NA	NA	NA	NA	NA	NA	N	E	(2) 24 X 109	1, 2		
108E	(2) 24" X 84"	D4	WD	PT	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	C	1, 2, 4 (2-HOLD-OPENS)	N	N	NA	NA	NA	NA	NA	NA	N	E	(2) 24 X 109	1, 2		
108F	(2) 24" X 84"	D4	WD	PT	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	C	1, 2, 4 (2-HOLD-OPENS)	N	N	NA	NA	NA	NA	NA	NA	N	E	(2) 24 X 109	3		
108G	(2) 24" X 84"	D4	WD	PT	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	C	1, 2, 4 (2-RUBBER PADS ON BOTTOM OF HOLD-OPENS)	N	N	NA	NA	NA	NA	NA	NA	Y	E	(2) 24 X 109	1		
108H	(2) 24" X 84"	D4	WD	PT	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	C	1, 2, 4 (2-RUBBER PADS ON BOTTOM OF HOLD-OPENS)	N	N	NA	NA	NA	NA	NA	NA	Y	E	(2) 24 X 109	1		
115A	33" X 84"	D6	WD	PT	REFER TO GEN. NOTES	F4	WD	PT	REFER TO GEN. NOTES	WD	1	E	1, 2, 3	Y	Y	S2	WD	PT	5 (PT1), 12, 19 (TRM)	P	12 (ALL)	NA	NA	NA	NA		
119A	33" X 84"	D9	WD	PT	2	F4	WD	PT	REFER TO GEN. NOTES	WD	1	E	1, 2, 3	N	N	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	LOCK DOOR	
210D	(2) 18" X 74"	D11	WD	PT	REFER TO GEN. NOTES	F4 (SIM)	WD	PT	5 (SILL)	NA	NA	G	1, 2	N	N	S3	WD	PT	5 (PT1), 12	F	1, 2	N	D	(2) 18 X 76	1, 2		
216C	(2) 18" X 74"	D11	WD	PT	3 (8" @ BOT. OF ASTRAGAL)	F4 (SIM)	WD	PT	5 (SILL)	NA	NA	G	1, 2, 6 (SUPPLEMENTAL LOCK)	N	N	S3	WD	PT	5 (PT1), 12	F	1, 2	N	D	(2) 18 X 76	1, 2		

ABBREVIATIONS	
CONC	CONCRETE
MBL	MARBLE
MTL	METAL
NA	NOT APPLICABLE
PT#	PAINT NUMBER
RES	RESINOUS FINISH
WD	WOOD
GENERAL TREATMENT NOTES FOR ALL DOORS/FRAMES:	
1. TEST FOR ACM IN CAULK. ASSUME FOR BIDDING PURPOSES THAT ALL CAULKING IS ACM.	
2. REMOVE EXIST. WEATHERSTRIPPING. PROVIDE SILICONE BULB WEATHERSTRIPPING AT JAMBS & HEAD, ROUTED INTO FRAME. PROVIDE BRUSH WEATHERSTRIPPING ROUTED INTO BOT. DOOR.	
3. FILL ALL HOLES <1/8" WITH WOOD PUTTY & SAND FLUSH TO FACE OF DOOR.	
4. ADJUST HARDWARE & RE-HANG ALL DOORS SO TRUE & PLUMB IN OPENING.	
5. REMOVE EXIST. PERIM. SEALANT & PROVIDE NEW URETHANE SEALANT. SEALANT COLOR TO BE SELECTED BY ARCHITECT.	
6. ALL EXTERIOR SIDES OF DOOR/FRAME ARE TO BE PAINTED PT1. OFF WHITE (MUNSELL BY 9/1 OR BEN. MOORE OC-94 "WINDSWEPT"); SEMI-GLOSS. INT. PAINT COLOR TO MATCH EXST.	
7. TYPE D2-4 & D1 DOORS: CAREFULLY REMOVE & REPLACE 100% OF THE EXTERIOR GLAZING PUTTY.	
8. REPAIR ALL SEPARATED JOINERY.	
9. ALL GLAZING IS TO BE REUSED UNLESS INDICATED OTHERWISE.	
SPECIFIC DOOR/SCREEN/FRAME TREATMENT NOTES (IN ADDITION TO GENERAL TREATMENT NOTES):	
1. REPLACE SCREEN MESH WITH BRONZE MESH TO MATCH ARCHITECTS SAMPLE.	
2. FIX DOOR SHUT.	
3. PROVIDE WOOD DUTCHMAN. APPROXIMATE SIZE OF DUTCHMAN INDICATED IN ().	
4. PROVIDE NEW DOOR/FRAME ELEMENT. ELEMENT INDICATED IN ().	
5. CONSOLIDATE AREA WITH EPOXY RESIN & SAND. ELEMET TO BE CONSOLIDATED INDICATED IN ().	
THRESHOLD TREATMENTS:	
1. REFINISH WITH SCHEDULED FINISH.	
2. CLEAN EXISTING MARBLE THRESHOLD.	
3. REMOVE EXISTING WOOD BLOCKING AT THRESHOLD.	
4. PROVIDE NEW THRESHOLD TO MATCH EXTANT ORIG. ON SAME TYPE OF DOOR AND IN SAME AREA. PROVIDE A RESINOUS FINISH TO MATCH ARCHITECTS SAMPLE UNLESS NOTED OTHERWISE.	
5. PREP & PAINT. PAINT COLOR INDICATED IN ().	
HARDWARE TREATMENTS:	
1. INCLUDES THE FOLLOWING TYPICAL TREATMENTS:	
• CLEAN, LUBRICATE, & ADJUST ALL HARDWARE SO IT OPERATES SMOOTH AND IN LIKE-NEW CCNDITION.	
• STRAIGHTEN ALL BENT HARDWARE.	
• PROVIDE NEW SLOTTED SCREWS WHERE MISSING THAT MATCH THE MATERIAL, FINISH, AND DESIGN OF THE ORIGINALS.	
2. STRIP PAINT/EXISTING FINISH OF HARDWARE, CLEAN, REFINISH, & LACQUER. ASSUME ALL UNLESS SPECIFIC ELEMENT CALLED OUT IN ().	
3. RE-KEY LOCKSET.	
4. PROVIDE NEW OR SALVAGED HARDWARE ELEMENT TO MATCH EXTANT ORIGINALS OF SAME TYPE. ELEMENT INDICATED IN ().	
5. PREP, INCLUDING REMOVING ALL SURFACE CORROSION, & PAINT HARDWARE ELEMENT. ELEVENT & PAINT COLOR INDICATED IN ().	
6. REMOVE HARDWARE ELEMENT, FILL HOLES IN DOOR, & IN-PAINT TO MATCH SCHEDULED RESINOUS FINISH. HARDWARE ELEMENT INDICATED IN ().	
PAINT COLORS:	
PT1 OFF-WHITE (MUNSELL BY 9/1 OR BEN. MOORE OC-94 "WINDSWEPT"); SEMI-GLOSS	
SPECIFIC TREATMENTS FOR SHUTTERS:	
1. STRIP ALL PAINT COATINGS; PROVIDE EPOXY REPAIRS AT ALL HOLES, ROTTED AND UV DAMAGED WOOD; REPAIR ALL LOOSE JOINEREY WITH WOOD DOVEL. REPAIRS OR WOOD DUTCHMAN REPAIRS; REMOVE ALL SUPPLEMENTAL METAL PLATE REINFORCING AT CORNERS; REPLACE ALL SHEET/METAL FLASHING AT THE TOP EDGE OF SHUTTERS WITH ALUMINUM FLASHING; STRIP PAINT FROM ALL HARDWARE AND MAKE OPERABLE IN LIKE NEW CONDITION. INSTALL BORATE PLUGS AT THE TOP AND BOTTOM EDGE OF ALL SHUTTERS; PREPARE AND PAINT ALL WOOD SURFACES.	
2. INSTALL SHUTTERS FROM THOSE IN STORAGE. FIELD FIT SHUTTERS TO CONFIRM THAT THE SHUTTER FITS THE OPENING.	
3. PROVIDE NEW SHUTTERS THAT EXACTLY MATCHES DESIGN, DIMENSIONS, CONSTRUCTION, DETAILS OF EXISTING, INCLUDING ALL HARDWARE.	
HARDWARE TYPES (EXCLUDES WALL/FLOOR MOUNTED DOORSTOPS; ASSUME EXISTING UNLESS NOTED OTHERWISE):	

A	(2) BRONZE MORTISE LOCKSETS W/ SINGLE CYLINDER DEADBOLTS.
	(6) BRONZE BUTT HINGES WITH BALL FINIALS.
	(1) BRONZE HEAD BOLT ON DOOR EDGE
	(1) BRONZE FOOT BOLT ON DOOR EDGE
	(1) BRONZE DOOR STOP ATTACHED TO DOOR
B	(2) PAINTED WOOD DOOR STOPS ON WALL
	(1) METAL PULL (EXT) / TURN LATCH (INT)
	(4) METAL BUTT HINGES
C	(1) BRONZE LOCKSET WITH OVAL KNOB (INT) / LEVER HANDLE (EXT), RECTANGULAR ESCUTCHEON, AND PRIVACY LATCH
	(6) BRONZE BUTT HINGES WITH BALL FINIALS.
	(1) BRONZE HEAD BOLT ON DOOR EDGE
	(1) BRONZE FOOT BOLT ON DOOR EDGE
	(2) BRONZE FOOT ACTIVATED HOLD-OPENS.
	(1) BRONZE LATCH AT TRANSOM
	(2) LIMITING CHAINS & MOUNTING BRACKETS AT TRANSOM
D	(2) BRONZE LOCKSETS WITH LEVER HANDLES, ROUND ESCUTCHEON PLATES, & KEYPLATES.
	(6) BRONZE BUTT HINGES WITH BALL FINIALS.
	(2) BRONZE FOOT ACTIVATED HOLD-OPENS.
E	(1) BRONZE PULL W/ LATCH
	(1) SINGLE CYLINDER DEADBOLT WITH HEART-SHAPED ESCUTCHEON PLATE
	(2) BRONZE BUTT HINGES WITH BALL FINIALS
F	(1) BRONZE PULL (EXT) / TURN LATCH (INT)
	(2) METAL BUTT HINGES
G	(2) LOCKSET WITH BRONZE OVAL KNOBS & TURN LATCH
	(4) BRONZE BUTT HINGES WITH BALL FINIALS
	(2) BRONZE SLIDING BAR HOLD-OPENS
	(1) BRONZE HEAD BOLT ON DOOR EDGE
	(1) BRONZE FOOT BOLT ON DOOR EDGE
H	EXST. MORTISE LOCKSET
	EXST. (2) BRONZE BUTT HINGES WITH BALL FINIALS
	EXST. BRONZE TURN LATCH.
	EXST. DEADBOLT.

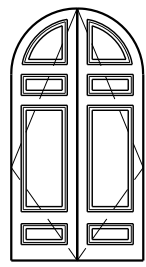
5 LEGEND/TREATMENT NOTES/HARDWARE TYPES

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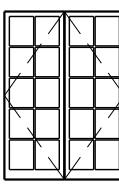
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WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING				CONTRACT NUMBER 15-556
				SHEET NUMBER A6.02
MAIN HOUSE REHABILITATION – MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK				SHEET NO. 30 OF 30
DOOR & LIGHT FIXTURE SCHEDULE				SCALE: AS SHOWN DATE: 06/07/19
				DPW FILE NO. 92-01-A-57-0
				REV. NO. 0

1 DOOR SCHEDULE

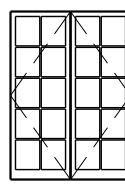
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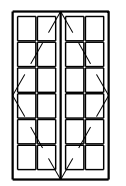
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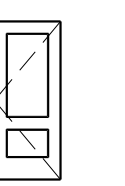
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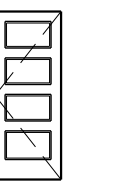
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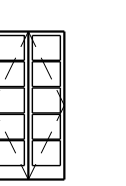
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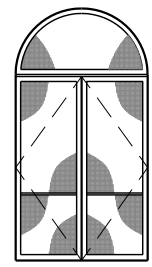
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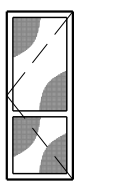
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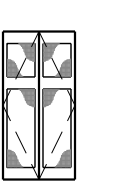
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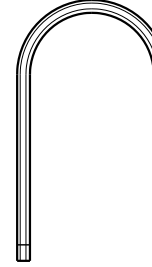
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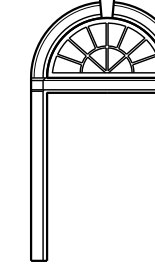
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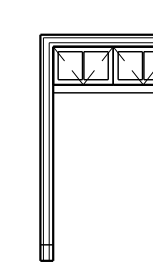
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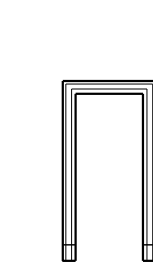
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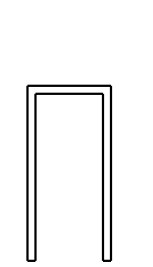
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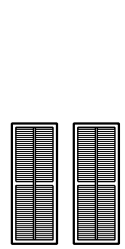
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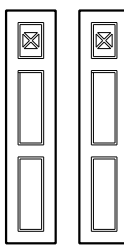
F4



F5



D



E

2 DOOR TYPES

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3 CASING/FRAME TYPES

SCALE: NTS

4 DOOR SHUTTER TYPES

SCALE: NTS

LIGHT FIXTURE SCHEDULE							
LOCATION/ROOM	EXISTING FIXTURES					NEW FIXTURES	
	TYPE	DESCRIPTION	FINISH (VIF)*	QUANTITY (VIF)	TREATMENT	TYPE	QUANTITY
EXT-EAST ENTRY	L1	BRONZE PENDANT W/ CLEAR GLASS SHADES & CHAIN SUSPENSION	OIL RUBBED BRONZE	1	1, 4	NA	NA
EXT-WEST ENTRY	L3	BRONZE CEILING MOUNTED FIXTURE	OIL RUBBED BRONZE	1	NA	NA	NA
EXT-NORTH PORCH	L2	BRONZE CEILING MOUNTED FIXTURE W/ GLASS SHADES.	OIL RUBBED BRONZE	1	1, 4	NA	NA
EXT-SOUTH PORCH	L2	BRONZE CEILING MOUNTED FIXTURE W/ GLASS SHADES.	OIL RUBBED BRONZE	1	1, 2 (SHADE TO MATCH THAT ON NORTH PORCH); 7	NA	NA
EXT-SERVANT'S PORCH	L4	PAINTED METAL & FROSTED GLASS SURFACE MOUNTED CEILING FIXTURE.	PT	1	8	TBD	1

NOTE:

- GENERAL TREATMENT NOTES APPLY TO ALL LIGHT FIXTURES. TREATMENTS LISTED IN SCHEDULE ARE IN ADDITION TO GENERAL TREATMENTS.
- CONTRACTOR SHALL REFER TO THE CONSTRUCTION HEALTH AND SAFETY PLAN PREPARED BY AKRF, INC. FOR HANDLING AND DISPOSAL OF PCB AND/OR MERCURY CONTAINING COMPONENTS ASSOCIATED WITH EXISTING LIGHT FIXTURES.

6 EXTERIOR LIGHT FIXTURE SCHEDULE

SCALE: NTS



L1



L2



L3

