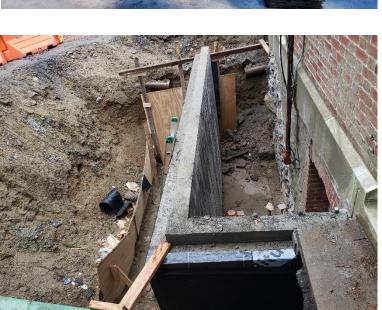
2.5 EOC 6 Photos of Capital/Strategic Project at Merestead, Mount Kisco, 2020



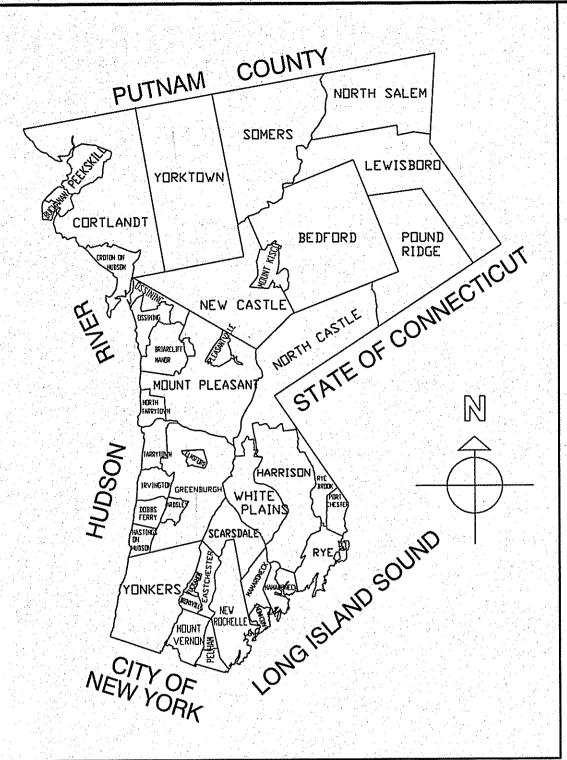












WESTCHESTER COUNTY

PRIME & SUB-CONTRACTOR QUALIFICATIONS

PRIME CONTRACTORS AND THEIR RESTORATION SPECIALIST SUB-CONTRACTOR WISHING TO BID ON THIS CONTRACT SHALL EACH HAVE A MINIMUM OF 5 YEARS SUCCESSFUL EXPERIENCE IN HISTORIC MASONRY RESTORATION AND BUILDING ENVELOPE STABILIZATION FOR BUILDINGS CONSTRUCTED IN THE USA BETWEEN 1906 AND 1930. BOTH PRIME AND THEIR SUB-CONTRACTOR SHALL PROVIDE DOCUMENTATION WITH REFERENCES FOR COMPLETED WORK SIMILAR IN MATERIAL, DESIGN, AND EXTENT TO THAT INDICATED FOR THIS PROJECT WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE. SUCH REQUIRED WRITTEN DOCUMENTATION SHALL BE SUBMITTED TO THE COUNTY AS PART OF THE BID. EXPERIENCE INSTALLING STANDARD UNIT MASONRY IS NOT SUFFICIENT FOR MASONRY RESTORATION WORK FOR THIS PROJECT.

REQUIRED TREATMENT OF HISTORIC PROPERTIES

THE MERESTEAD MANSION IS LISTED IN THE NATIONAL REGISTER OF HISTORIC PLACES. THE PROJECT'S CONSTRUCTION DOCUMENTS HAVE BEEN DEVELOPED IN COMPLIANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES. ANY DEVIATION FROM THE PROJECT'S CONSTRUCTION DOCUMENTS OR SPECIFICATIONS MUST BE REVIEWED BY THE COUNTY TO VERIFY THE PROJECT'S CONTINUED COMPLIANCE WITH THE STANDARD.

GENERAL SCOPE OF WORK NOT LIMITED TO:

- EXTERIOR WORK ONLY:

 1. BRICK CLEANING, BRICK POINTING, SELECTIVE BRICK REPLACEMENT
- 2. WOOD RESTORATION: DOORS, WINDOWS, SHUTTERS, GATES,
- 2. WOOD RESTORATION: DO COLUMNS, SOFFITS.
- 3. REPLACEMENT/RESTORATION OF N & S BALCONY PERIMETER
- BALUSTRADES.
- 4. RESTORATION OF MAIN HOUSE SLATE ROOF & ROOF REPLACEMENT
- AT OTHER ROOFS AS NOTED ON CONTRACT DOCUMENTS.

 5. RECONSTRUCTION OF WINDOW WELLS & EXT STAIR TO BASEMENT
- w/ NEW DRAINS CONNECTED TO PERIMETER DRAINAGE (REQUIRING CAREFUL EXCAVATION)
- 6. REPLACEMENT OF RED CLAY TILE FLOORS AT N & S PORCHES.
- 7. REPLACEMENT OF DOWNSPOUTS.
- 8. RESTORATION OF HARDWARE ON DOORS & WINDOWS.

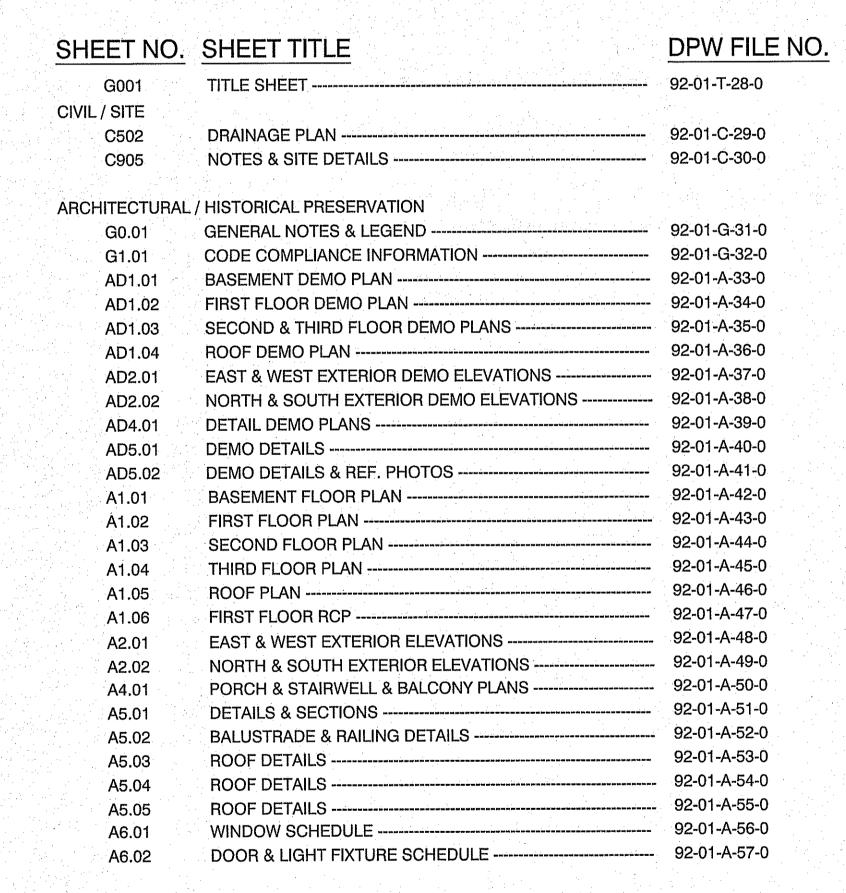


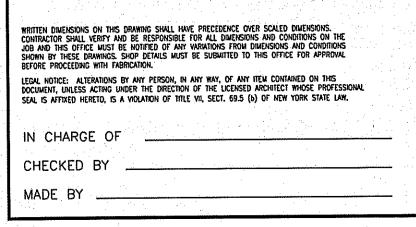
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING

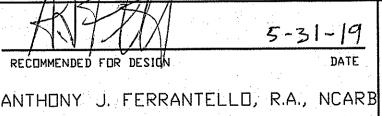
CONTRACT No. 15-556

MAIN HOUSE REHABILITATION MERESTEAD

BEDFORD AND NEW CASTLE, NEW YORK







ASSOCIATE ARCHITECT
DEPARTMENT OF PUBLIC WORKS AND
TRANSPORTATION

APPROVED CODE COMPLIANCE REVIEW & DATE RECOMMENDED FOR CONSTRUCTION

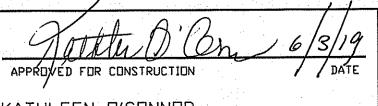
JOESEPH J. NICOLETTI, JR., P.E.

JOESEPH J. NICOLETTI, JR., P.E.

FIRST DEPUTY COMMISSIONER

DEPARTMENT OF PUBLIC WORKS AND

TRANSPORTATION



KATHLEEN D'CONNOR

COMMISSIONER

DEPARTMENT OF PARKS, RECREATION

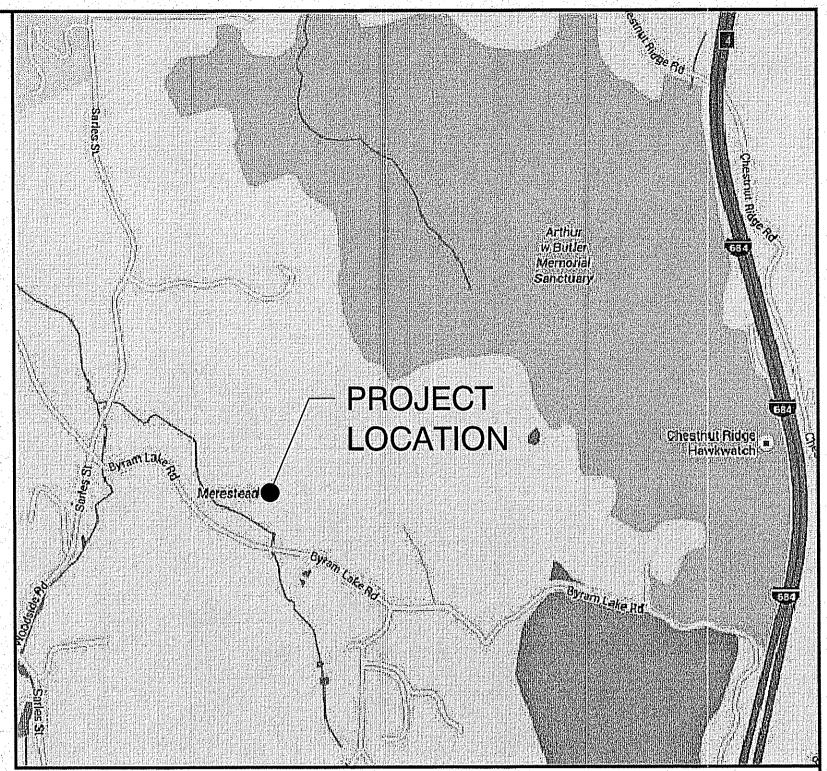
AND CONSERVATION

HUGH J. GREECHA
COMMISSIONER

DEPARTMENT OF
TRANSPORTATION

APPROVED FOR CONSTRUCTION DATE

HUGH J. GREECHAN, JR., P.E.
COMMISSIONER
DEPARTMENT OF PUBLIC WORKS AND



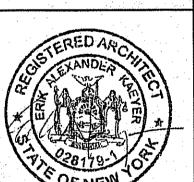
LOCATION MAP

SITE/CIVIL ENGINEER AKRF, INC

34 South Broadway, Suite 401 White Plains, NY 10601 phone: 914.922.2394 fax: 914.949.7559

HISTORIC PRESERVATION Harboe Architects, PC

140 South Dearborn Suite 306 Chicago, IL 60603 phone: 312.977.0333 fax: 312.977.0334



ARCHITECT KG+D Architects, PC

Kaeyer, Garment & Davidson Architects PC 285 Main Street, Mount Kisco, NY 10549 phone: 914.666.5900 fax: 914.666.0051

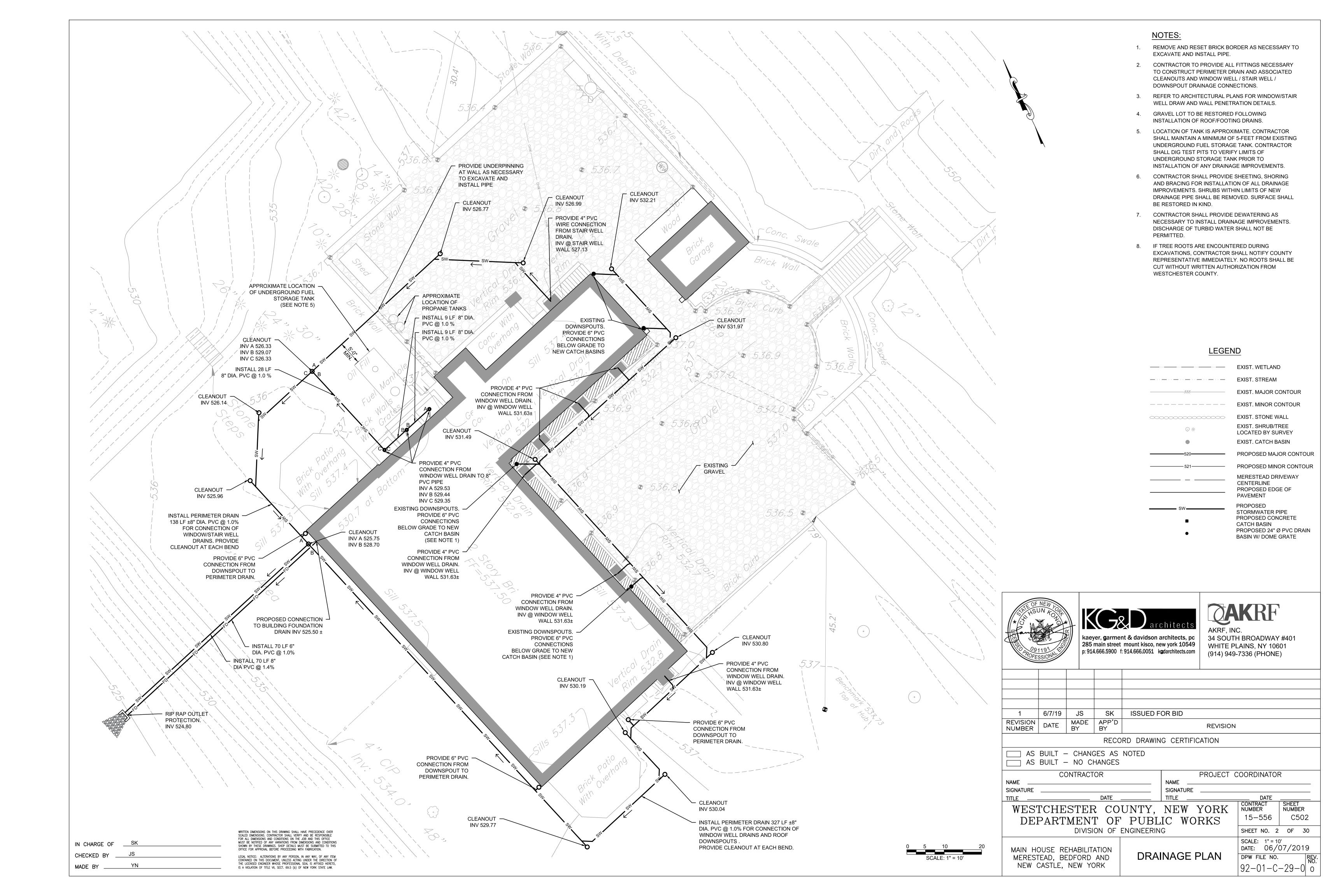
							<u> </u>		
1	06/07/19	RC	EK	ISSUED I	OR BID				
EVISION IUMBER	DATE	MADE BY	APP'D BY		REVISION				
			RECO	RD DRAWII	NG CERTIFICATION				
	BUILT - BUILT -			NOTED					
AME IGNATURE ITLE	CO	ONTRACT	OR DATE		PROJECT COORDINATOR NAME SIGNATURE DATE				
	CHE	1.		and the second s	NEW YORK	CONTRACT NUMBER 15-556	SHEET NUMBER G001		

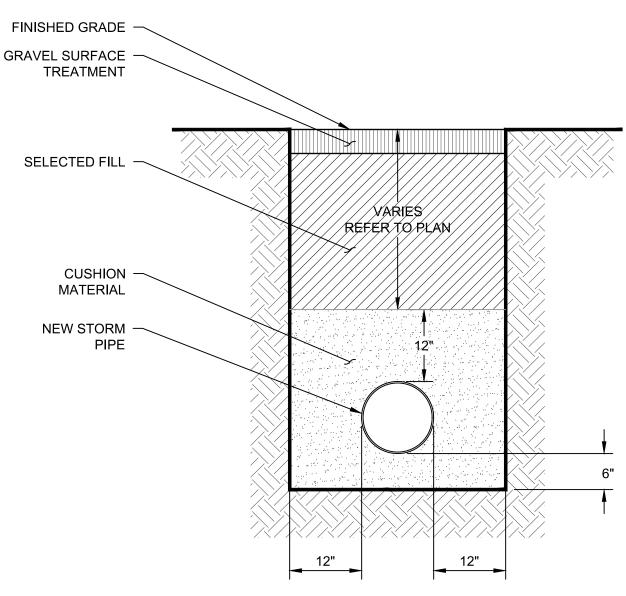
MAIN HOUSE REHABILITATION - MERESTEAD
BEDFORD AND NEW CASTLE, NEW YORK

TITLE SHEET

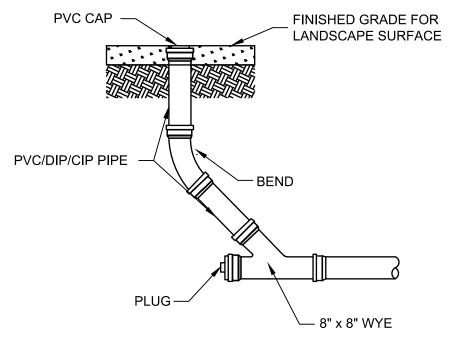
SCALE: AS SHOWN
DATE: 06/07/19

DPW FILE NO.
92-01-T-28-0

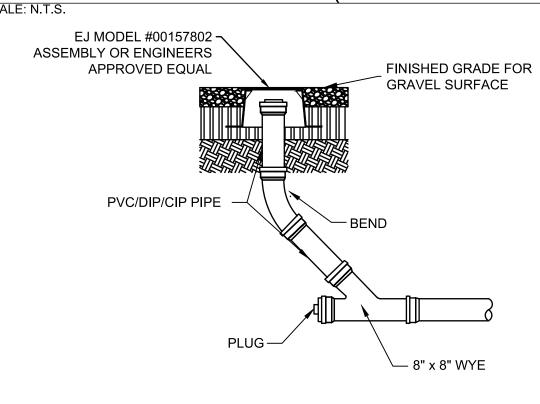




STORMWATER PIPE TRENCH DETAIL



TYPICAL CLEANOUT DETAIL (LANDSCAPED AREAS)



TYPICAL CLEANOUT DETAIL (GRAVEL / H-20 LOADING)

IN CHARGE OF

CHECKED BY

MADE BY

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE

LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ENGINEER WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO,

GENERAL NOTES

- 1. THESE DOCUMENTS HAVE BEEN PREPARED BASED ON A TOPOGRAPHIC SURVEY ENTITLED "TOPOGRAPHY OF A PORTION OF MERESTEAD ESTATE PREPARED FOR THE COUNTY OF WESTCHESTER" PREPARED BY TEC LAND SURVEYING, INC, DATED SEPTEMBER 6, 2017 LAST REVISED OCTOBER 23, 2017. ACTUAL FIELD CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL EXAMINE AND VERIFY IN THE FIELD ALL EXISTING AND GIVEN CONDITIONS AND DIMENSIONS WITH THOSE SHOWN ON THE PLANS. IF FIELD CONDITIONS AND DIMENSIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL USE THE FIELD CONDITIONS AND DIMENSIONS AND MAKE THE APPROPRIATE CHANGES TO THOSE SHOWN ON THE PLANS AND MUST BE SUBMITTED BY THE ENGINEER OF RECORD TO WESTCHESTER COUNTY FOR APPROVAL PRIOR TO PROCEEDING WITH THE WORK.
- 3. IT WILL BE THE CONTRACTORS OBLIGATION AND RESPONSIBILITY TO USE METHODS AND EQUIPMENT WHICH WILL ENSURE THE SATISFACTORY COMPLETION OF THE REQUIRED WORK WITHIN THE CONTRACT DURATION.
- 4. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ALL DAMAGES CAUSED BY HIS OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR WITHOUT COST TO THE OWNER AND TO THE SATISFACTION OF THE ENGINEER.
- THE EXISTING UTILITIES SHOWN ON THE SURVEY WERE TAKEN FROM THE BEST AVAILABLE INFORMATION AND ARE NOT GUARANTEED TO BE ACCURATE. FIELD CONDITIONS MAY VARY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE LOCAL UTILITY COMPANIES THAT HAVE SUBSURFACE INSTALLATIONS IN THE AREA OF WORK FOR THIS CONTRACT AND DIRECT THEM TO HAVE THEIR FACILITIES MARKED OUT PRIOR TO COMMENCING WORK.
- 6. SITE EXCAVATION: ALL EXCAVATED SOIL SHALL BE STOCKPILED IN CONFORMANCE WITH THE EROSION AND SEDIMENT CONTROL DETAILS. ALL NYSDEC AND USEPA REGULATIONS FOR REMOVAL OF CONTROLLED FILL SHALL BE ADHERED TO. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL EXCESS SOIL. THE CONTRACTOR IS REQUIRED TO FOLLOW ALL CONCLUSIONS AND RECOMMENDATIONS IN THE PHASE II ENVIRONMENTAL SITE INVESTIGATION REGARDING SOIL STOCKPILING AND TRANSPORT OF SOIL AND OTHER EXCAVATED MATERIALS OFF-SITE.
- 7. CONTRACTOR TO INSTALL TEMPORARY SITE CONSTRUCTION FENCE AROUND PERIMETER OF WORK AREA PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO BUILDING WALLS, TO REMAIN IN PLACE. ALL UNSUITABLE MATERIAL, CONSTRUCTION DEBRIS, ETC. SHALL BE PROPERLY REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES AND LAWS.
- 9. ALL EXISTING TREES AND VEGETATION TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR. ANY DAMAGED TREES AND/OR VEGETATION SHALL BE REPLACED IN KIND AT THE EXPENSE OF THE CONTRACTOR.
- 10. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THE SAFETY OF HIS EMPLOYEES AND GENERAL PUBLIC, STRUCTURAL/SITE FEATURES TO REMAIN, ADJACENT PROPERTIES & PUBLIC RIGHT-OF-WAY'S DURING ALL CONSTRUCTION AND REMOVAL ACTIVITIES IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES AND REGULATIONS. THE OWNER AND PROJECT ENGINEER ASSUME NO RESPONSIBILITIES FOR THE CONTRACTOR'S SAFETY PROGRAM AND PROCEDURES IN CONNECTION WITH THE WORK.
- 11. IF THERE ARE ANY DISCREPANCIES BETWEEN THE CONTRACT PLANS AND THE PROJECT SPECIFICATIONS, THE CONTRACTOR IS RESPONSIBLE TO GAIN CLARIFICATION FROM THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH PRICING OR PROCEEDING WITH THE WORK.
- 12. IN PERFORMING THE SHEETING OF A TRENCH FOR EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF THE NEW YORK STATE LABOR LAW AND PARTICULARLY WITH RULE NUMBER 23 (AS AMENDED) OF THE INDUSTRIAL CODE AS PROMULGATED BY THE BOARD OF STANDARDS AND APPEALS, LISTED IN FEDERAL REGISTER / VOLUME 54, NUMBER 209 / TUESDAY, OCTOBER 31, 1989, [DOCKET NUMBER S-204] RIN 1218 AA 36.
- 22. THE CONTRACTOR IS ADVISED THAT ADDITIONAL NOTES SHALL BE FOUND ON SUBSEQUENT SHEETS OF THE CONTRACT PLANS AND SUCH NOTES, WHILE PERTAINING TO THE SPECIFIC DRAWINGS THEY ARE PLACED ON, ALSO SUPPLEMENT THE GENERAL NOTES LISTED HEREIN.
- 24. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT CATCH BASINS FROM FILLING WITH SEDIMENT AND/OR DEBRIS WITHIN THE CONTRACT LIMITS DURING THE CONTRACT OPERATIONS. IN THE EVENT THE CONTRACTOR'S OPERATION DAMAGES OR BLOCKS THE DRAINAGE SYSTEM, THE CONTRACTOR SHALL AT HIS/HER EXPENSE IMMEDIATELY REPAIR OR RESTORE THE DRAINAGE SYSTEM AS DIRECTED BY THE PROJECT ENGINEER.
- 25. THE CONTRACTOR SHALL PRESERVE ALL NATURAL SITE FEATURES. AS LITTLE VEGETATIVE COVER SHALL BE REMOVED AS NECESSARY. ANY DISTURBED AREA SHALL BE IMMEDIATELY STABILIZED BY ROLLED EROSION CONTROL PRODUCT OR OTHER NYSDEC ACCEPTED METHODS. SEDIMENTATION AND EROSION CONTROL MEASURES EMPLOYING BEST MANAGEMENT PRACTICES ARE TO BE IMPLEMENTED IN ACCORDANCE WITH NYSDEC BOOKLET "REDUCING THE IMPACTS OF STORMWATER RUNOFF FROM NEW DEVELOPMENT" (SEPTEMBER 2001 OR MORE RECENT VERSION), NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (AUGUST 2005), AND NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL (JANUARY 2015) TO ENSURE THAT ALL DISTURBED AREAS ARE STABILIZED AND REVEGETATED.
- 26. NO WORK SHALL OCCUR WITHIN THE LIMITS OF DELINEATED WETLANDS.

CONSTRUCTION NOTES

- 27. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS AND APPROVALS PRIOR TO COMMENCING WORK.
- 28. PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL COORDINATE AND ATTEND A PRECONSTRUCTION MEETING WITH THE COUNTY AND AKRF.
- 29. CONTRACTOR SHALL EXAMINE AND FIELD VERIFY ALL EXISTING AND GIVEN DIMENSIONS AND CONDITIONS WITH THOSE SHOWN ON THE PLANS. IN CASE OF ANY DISCREPANCY, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER.
- 30. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
- 31. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT, AND MATERIALS AS REQUIRED FOR THE IMPROVEMENT WORK SHOWN WITHIN THE

PROJECT AREA.

- 32. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL PRODUCTS (I.E. PIPES, STRUCTURES, ETC.) INCLUDING MATERIAL SPECIFICATIONS FOR ROCK, FILL MATERIAL, EROSION CONTROL MAT, SILT FENCE, AND PAVEMENT SECTION. ALL SITE-RELATED SHOP DRAWINGS SUBMITTED TO THE ENGINEER SHALL BEAR THE APPROVAL STAMP OF GENERAL CONTRACTOR.
- 33. THE TOP ELEVATION OF ALL EXISTING HANDHOLES, MANHOLES, CATCH BASINS, VALVE BOXES, AND CAPS COVERS LOCATED WITHIN THE CONSTRUCTION AREA SHALL BE RESET AND BE MADE FLUSH WITH THE PROPOSED GRADE.
- 34. WHERE MANUFACTURER'S NAMES AND PRODUCT NUMBERS ARE INDICATED ON DRAWINGS, IT SHALL BE CONSTRUED TO MEAN THE ESTABLISHMENT OF QUALITY AND PERFORMANCE STANDARDS OF SUCH ITEMS. ALL OTHER PRODUCTS MUST BE SUBMITTED TO THE ENGINEER FOR APPROVAL BEFORE THEY SHALL BE DEEMED EQUAL.
- 35. UNSUITABLE MATERIAL, CONSTRUCTION DEBRIS, ETC. SHALL BE PROPERLY REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES, AND LAWS.
- 36. ALL EXCAVATION SHALL BE PROPERLY BACKFILLED WITH CLEAN FILL AND COMPACTED TO MINIMUM 90% PROCTOR (IN LANDSCAPED AREAS) AND MINIMUM 95% PROCTOR (IN PAVED AREAS) AS PER ASTM D-1557. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION TESTING AND SHALL SUBMIT SUCH REPORT AND VERIFICATION TO PROJECT ENGINEER.
- 37. HIGH DENSITY POLYETHYLENE (HDPE) PIPE SHALL BE HANCOR (BLUE SEAL) AND FITTINGS SHALL HAVE SMOOTHED INTERIOR AND CORRUGATED EXTERIOR. THE BELL-AND-SPIGOT HDPE PIPING NETWORK SHALL BE JOINED USING WATERTIGHT CONNECTIONS IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D3212. ELASTOMERIC SEALS (GASKETS) MADE OF POLYISOPRENE AND MEETING THE REQUIREMENTS OF ASTM F477 SHALL SHOW NO VISIBLE LEAKS WHEN TESTED UNDER A 10 FT. HYDROSTATIC WATER TEST. PROVIDE THOSE BY HANCOR CO. OR OTHER MANUFACTURER THAT CAN PROVIDE WATERTIGHT JOINTS.
- 38. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS AND MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS, NOR FOR ANY CONFLICTS AND/OR REVISIONS WHICH RESULT FROM THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING METHODS AND MEANS OF COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFY THE PROJECT ENGINEER WHEN A CONFLICT IS IDENTIFIED.
- 39. CONTRACTOR IS RESPONSIBLE FOR ANY REQUIRED SHEETING/SHORING/BRACING DESIGN AND INSTALLATION AS REQUIRED TO PERFORM THE WORK.
- 40. CONTRACTOR IS RESPONSIBLE FOR GROUNDWATER DEWATERING, WITHDRAWAL AND TREATMENT DESIGN, PERMITTING, INSTALLATION AND MAINTENANCE AS REQUIRED TO PERFORM THE WORK.

SUPPLEMENTAL INFORMATION PROVIDED TO BIDDER

CONTRACTOR SHALL REFER TO THE FOLLOWING DOCUMENTS:

- LIMITED ASBESTOS AND LEAD PAIN SURVEY REPORT PREPARED BY AKRF, INC. DATED JULY 2016
- LIMITED MOLD SURVEY REPORT PREPARED BY NICHE ANALYSIS, INC. DATED JULY 25, 2016
 PHASE I ENVIRONMENTAL SITE ASSESSMENT PREPARED BY AKRF, INC. DATED DECEMBER 2015
- SUBSURFACE (PHASE II) INVESTIGATIONS PREPARED BY AKRF, INC. DATED AUGUST 2016
- CONSTRUCTION HEALTH AND SAFETY PLAN PREPARED BY AKRF, INC. DATED MARCH 2018
- MAIN HOUSE SEPTIC SYSTEM RECORD PLAN ENTITLED "SEWAGE DISPOSAL PLANT FOR MANOR HOUSE ESTATE OF MR. WILLIAM SLOANE MT. KISCO, WESTCHESTER COUNTY, NEW YORK" DATED 1906 THROUGH 1920 (RECORD ID 92-01-PU-11-0).



AKRF, INC.
34 SOUTH BROADWAY #401
WHITE PLAINS, NY 10601
(914) 949-7336 (PHONE)

10FE	SSION					(314) 343-7000 (1110NE)		
1	6/7/19	JS	SK	ISSUED F	OR BID			
REVISION NUMBER	DATE	MADE BY	APP'D BY			REVISION		
			RECO	RD DRAWIN	IG CERTIFIC	CATION		
AS BUILT - CHANGES AS NOTED AS BUILT - NO CHANGES								
	CC	ONTRACT	OR			PROJECT COORDINATOR		
NAME					NAME			
SIGNATURE			D.175		SIGNATURE			
TITLE DATE					TITLE	DATE		

WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS

MAIN HOUSE REHABILITATION
MERESTEAD, BEDFORD AND
NEW CASTLE, NEW YORK

NOTES &
SITE DETAILS

SHEET NO. 3 OF 30

SCALE: AS SHOWN
DATE: 09/07/2018

DPW FILE NO. REV. NO. 92-01-C-30-0 0

NUMBER

15-556

NUMBER

C905

```
THE MERESTEAD ESTATE IS A HISTORICALLY SIGNIFICANT PROPERTY THAT IS LISTED ON THE NATIONAL
                                                                                                       Structural General Notes
                                                                                                                                                                                                                                17Concrete piers: Place concrete piers and walls together. Set pier reinforcing and set wall reinforcing through pier
   REGISTER OF HISTORIC PROPERTIES
                                                                                                                                                                                                                                vertical bars. Provide dowels with standard hook from footing at all piers. Size and quantity of dowels to match vertical
                                                                                                       1 The work shown on these drawings has been designed in accordance with the structural requirements of the 2017 edition
   ARCHITECTURAL GENERAL DEMOLITION NOTES:

1. THE DRAWINGS INDICATE EXISTING CONSTRUCTION IN A DIAGRAMMATIC MANNER. VERIFY AT
                                                                                                         of the New York State Uniform Fire Prevention and Building Code which is the 2015 International Residential Code with
                                                                                                         the 2017 Uniform Code Supplement.
                                                                                                                                                                                                                                18The contractor shall be responsible for limiting pours to minimize shrinkage cracking. In general, walls shall not be
        THE PROJECT SITE EXACT LOCATIONS, SIZES, EXTENT AND CONDITIONS OF EXISTING
                                                                                                                                                                                                                                poured in continuous lenaths exceeding 30 feet without providing construction joints or control joints. The location and
                                                                                                       2 The structural components have been designed for the following loads:
        CONSTRUCTION TO BE REMOVED. RELOCATED OR TO REMAIN.
                                                                                                                                                                                                                                 configuration of joints exposed to view shall be coordinated with the architect.
        REMOVE EXISTING CONSTRUCTION, EQUIPMENT AND MATERIALS INDICATED ON THE DRAWINGS
                                                                                                                                                                                                                                 19Finish elevated floor slabs flat and level within a tolerance of \pm1 /4 inches to the elevation indicated on the
                                                                                                         A. Uniform live load:
        AND NOTED, COMPLETE FOR THE ITEM OR CONSTRUCTION, INCLUDING FRAMING, SUPPORTS,
                                                                                                                                                                                                                                   drawings. Provide additional concrete required due to formwork and floor framing deflection to achieve this finished top
        ANCHORS, ATTACHMENTS, FASTENERS, FINISHES AND ASSOCIATED APPURTENANCES.
                                                                                                                                                                                                                                  of slab elevation. The anticipated deflection for both beams and girders is 1 1/4". Design of floor framing members
    3 THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCY ON THE
                                                                                                           Private Rooms
                                                                                                                                                                                                                                   includes the additional concrete for this anticipated deflection.
        DRAWINGS OR THE UNCOVERING OF ANY HIDDEN CONDITIONS WHICH AFFECT THE NEW
                                                                                                                                                                                                                                20The installation of slabs shall conform to the requirements of ACI 302.1R, "Guide to Concrete Floor and Slab
        CONSTRUCTION.
        THE CONTRACTOR SHALL CONFORM TO ALL PROCEDURES AS ESTABLISHED BY THE
                                                                                                       3 This structure has been designed to be self-supporting and stable after the work shown on these drawings has been
                                                                                                                                                                                                                                  Construction". Interior finish slab surfaces are to have a steel trowel finish. Surfaces of slabs forming the substrate for
        APPLICABLE BUILDING CODES AND MUNICIPAL REQUIREMENTS.
                                                                                                          completed. The stability of the structure prior to completion is solely the responsibility of the contractor. This
                                                                                                                                                                                                                                  mud jobs are to have a clean textured (scratched) surface. Exterior slab surfaces are to have a broom finish unless
        THE CONTRACTOR SHALL NOT CUT INTO, ALTER, OR REMOVE ANY STRUCTURAL MEMBER OR
                                                                                                         responsibility extends to all related aspects of the construction activity including, but not limited to, erection methods,
        PORTION THEREOF LINESS SPECIFICALLY NOTED OR SHOWN
                                                                                                          erection sequence, temporary bracing, forms, shoring, use of equipment, and similar construction procedures. Review of
                                                                                                                                                                                                                                21Expansion and isolation-joints:
   6. THE CONTRACTOR SHALL NOT STACK, PILE OR ALLOW TO ACCUMULATE DEMOLITION
                                                                                                          the construction by the engineer is for conformance with design aspects only, not to review the contractor's construction
                                                                                                                                                                                                                                  Filler strips: ASTM D 1751 asphalt—saturated cellulosic fiber or ASTM D 1752 cark or self expanding cark
        MATERIALS AND EQUIPMENT THAT WOULD EXCEED THE SAFE FLOOR LOAD LIMITS OF 100
                                                                                                         procedures. Lack of comment on the part of the engineer with regard to construction procedures is not to be interpreted
                                                                                                                                                                                                                                  sealant at top of joint: Sika's Sikaflex 2c SL poly urethane elastomeric sealant. Provide cap to separate sealant from
        POUNDS PER SQUARE FOOT AND THE SAFE ROOF LOAD OF 50 POUNDS PER SQUARE FOOT.
                                                                                                          as approval of those procedures.
        THE CONTRACTOR SHALL NOT CAUSE OR IMPOSE IMPACT LOADS OR EXCESSIVE VIBRATIONS.
                                                                                                       4 Jobsite safety and construction procedures are solely the responsibility of the contractor. Review of the construction by
                                                                                                                                                                                                                                22The curing and protection of concrete shall conform to the requirements of ACI 318 and ACI 308R, "Guide to Curing
        ON THE EXISTING STRUCTURAL SYSTEM DURING THE SELECTIVE DEMOLITION
                                                                                                          the engineer is for conformance with design aspects only, not to review the contractor's provisions for job site safety.
   8. THE CONTRACTOR SHALL NOT ALLOW THE FREE FALL OF MATERIALS. WALLS OR OTHER
                                                                                                                                                                                                                                  Concrete." Concrete slabs shall be protected from loss of surface moisture for not less than 7 days using a curing
                                                                                                          Lack of comment by the engineer is not to be interpreted as approval of those aspects of work.
        CONSTRUCTION DURING SELECTIVE DEMOLITION.
                                                                                                                                                                                                                                  compound conforming to ASTM C 309 or constantly wetted burlan. Curing compounds shall be compatible with any
                                                                                                       5 If faulty construction procedures, or material, result in defective work that requires additional engineering time to devise
        THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, FITTING AND PATCHING
                                                                                                                                                                                                                                  intended flooring overlay. Do not install finish flooring until slab has adequately dried per the flooring manufacturer's
                                                                                                          corrective measures, professional fees may be charged to the contractor at the standard hourly rate of additional
        REQUIRED TO COMPLETE THE WORK.
   10. THE CONTRACTOR SHALL INSPECT EXISTING JOB SITE CONDITIONS OF THE PROJECT
                                                                                                          services. Such fees may be withheld from the general contractor's payment.
                                                                                                                                                                                                                                23Cold weather concrete placement: If cold weather concreting conditions exist as defined by a period of more than
        INCLUDING ELEMENTS SUBJECT TO DAMAGE AND MOVEMENT DURING CUTTING AND PATCHING.
                                                                                                       6 For any mechanical equipment weights used in design of supporting elements that are indicated on the drawings.
                                                                                                                                                                                                                                  three days when the average outdoor temperature, (high + low)/2, is less than 40 deg. F. the procedures outlined in
        AFTER UNCOVERING WORK, INSPECTING THE CONDITION AFFECTING INSTALLATION OF
                                                                                                          Contractor shall notify the architect prior to installation of equipment if actual weight exceeds weight shown on drawings.
                                                                                                                                                                                                                                   ACI 306.1, "Standard Specification for Cold Weather Concreting" and ACI 306R, "Guide to Cold Weather Concreting" shall
        PRODUCTS OR PERFORMANCE OF WORK. THE CONTRACTOR SHALL REPORT ANY
                                                                                                       7 The contractor shall verify all dimensions, elevations and angles with architectural drawings and existing conditions before
        UNSATISFACTORY OR QUESTIONABLE CONDITIONS TO THE ARCHITECT AND SHALL NOT
                                                                                                         proceeding with any work.
        PROCEED WITH THE WORK UNTIL THE ARCHITECT HAS PROVIDED FURTHER INSTRUCTIONS.
                                                                                                                                                                                                                                24Hot weather concrete placement: Maintain concrete temperature below 90 deg. F. at time of placement and comply
                                                                                                       8 The contractor shall field verify existing conditions before proceeding with any work. The contractor shall field verify all
   11. THE CONTRACTOR SHALL EXECUTE CUTTING AND DEMOLITION BY METHODS. WHICH WILL
                                                                                                                                                                                                                                  with ACI 301 and ACI 305R, "Guide to Hot Weather Concreting"
                                                                                                         dimensions noted "±" that are indicated on the drawings.
        PREVENT THE DAMAGE TO OTHER WORK AND WILL PROVIDE PROPER SURFACES TO RECEIVE
                                                                                                                                                                                                                                25 Accurately position, support, and secure reinforcement against displacement. Locate and support reinforcement with
                                                                                                       9 The contractor and subcontractors shall obtain the latest copies of approved plans and surveys and they shall familiarize
                                                                                                                                                                                                                                bar supports tó maintain minimum concrete cover. Do not tack weld crossing reinforcing bars. Provide bar supports as
        THE CONTRACTOR SHALL EXECUTE THE FITTING AND ADJUSTMENT OF PRODUCTS TO PROVIDE
                                                                                                         themselves thoroughly with these plans before commencing any work
        FINISHED INSTALLATION TO COMPLY WITH SPECIFIED PRODUCTS, FUNCTIONS, TOLERANCES
                                                                                                       10Do not scale drawings.
                                                                                                                                                                                                                                  A. Bolsters, chairs, spacers, and other devices for spacing, supporting, and fastening reinforcing bars and welded wire
   13. THE CONTRACTOR SHALL RESTORE WORK WHICH HAS BEEN CUT OR REMOVED, AND INSTALL
                                                                                                       Structural Codes and Standards References
                                                                                                                                                                                                                                     reinforcement in place. Manufacture bar supports from steel wire, plastic, or precast concrete according to CRSI's
        NEW PRODUCTS TO PROVIDE COMPLETED WORK IN ACCORDANCE WITH THE REQUIREMENTS
        OF THE CONTRACT DOCUMENTS.
                                                                                                                                                                                                                                     "Manual of Standard Practice," of greater compressive strength than concrete.
                                                                                                          Concrete work shall conform to the requirements of:
   14. THE CONTRACTOR SHALL DOCUMENT LOCATION, LABEL, CAREFULLY REMOVE, AND STORE ALL
                                                                                                          ACI 301-10. "Specifications for Structural Concrete in Buildings" and
                                                                                                                                                                                                                                 Connections to Existing Masonry or Hardened Concrete:
        FLEMENTS THAT ARE TO BE TEMPORARILY REMOVED FOR RESTORATION WORK AND LATER
                                                                                                         ACI 318-14, "Building Code Requirements for Structural Concrete".
        REINSTALLATION PRIOR TO STARTING DEMOLITION WORK IN THE AREA. THE ELEMENTS ARE TO
                                                                                                                                                                                                                                1 All proprietary anchoring systems (expansion, adhesive anchoring systems, etc.) to be installed into hardened concrete and
        BE STORED SO THEY ARE ACCESSIBLE FOR RESTORATION WORK
                                                                                                            Structural steel
                                                                                                                                                                                                                                    masonry elements are to be installed in strict accordance with the manufacturer's instructions for drilling and preparation
   15. REFER TO CIVIL/LANDSCAPE DRAWINGS FOR REMOVAL OF ALL LANDSCAPE FEATURES.
                                                                                                       Design, fabrication and erection of structural steel shall conform to the "Specification for Structural Steel for Buildings" as
                                                                                                                                                                                                                                  of holes, for spacing and edge distance requirements, and for the utilization of supplemental components for the
   16. ALL HAZARDOUS MATERIAL RELATED ISSUES SHOULD BE REVIEWED WITH THE USING AGENCY
                                                                                                       adopted on June 22, 2010, by the American Institute of Steel Construction (AISC) and the 14th Edition of the AISC Steel
                                                                                                                                                                                                                                  anchoring systems such as screen tubes, doweling adhesives, etc.
        AND HAZARDOUS MATERIALS ABATEMENT CONSULTANT PRIOR TO COMMENCEMENT OF
                                                                                                       Construction Manual.
                                                                                                                                                                                                                                 2 Connections to hardened concrete shall be made with anchors conforming to ACI 318, as specified in the code reference
        DEMOLITION.
                                                                                                                                                                                                                                   section of these general notes, for cracked concrete, and Chapter 19 of the state building code indicated at the
                                                                                                       Wood design is based on the 2015 AF&PA NDS-2015, "National Design Specification for Wood Construction with the 2015
                                                                                                                                                                                                                                  beginning of these general notes.
 ARCHITECTURAL GENERAL PROTECTION NOTES:

1. CONTRACTOR RESPONSIBLE FOR RESTORING ALL DAMAGE TO HISTORIC FABRIC INCURRED
      DURING DEMOLITION. REFER TO SPECIFICATION SECTION 024296 REGARDING DOCUMENTATION
                                                                                                       Structural Foundation notes:
                                                                                                                                                                                                                                     i. Hilti "Kwik Bolt TZ" expansion anchor.
   REFER TO LANDSCAPE DRAWINGS FOR TREE PROTECTION.
                                                                                                       1 The site preparation and earthwork within the perimeter of the proposed new structure shall include, as a minimum, the
                                                                                                                                                                                                                                     ii. Hilti "Kwik HUS-EZ" screw anchor (use only in permanently dry, interior non-corrosive environments)
                                                                                                          complete removal of all topsoil, organic and unsuitable fill materials. Proof compact the top of the remaining excavated
                                                                                                                                                                                                                                     iii. Simpson "Strong Bolt 2" expansion anchor
                                                                                                          surface. The removed soil shall be replaced with compacted structural fill where required for the support of foundations
                                                                                                          and slabs on grade.
                                                                                                                                                                                                                                     iv. Simpson "Titan HD" screw anchor (use only in permanently dry, interior non-corrosive environments)
    THE GENERAL CONTRACTOR AND EACH SUBCONTRACTORS ARE ADVISED THAT INFORMATION
                                                                                                       2 The foundations have been designed to rest on inorganic, undisturbed soil or compacted granular fill having a
   PERTINENT TO THEIR WORK MAY OCCUR IN OTHER PORTIONS OF THE CONTRACT DOCUMENTS.
                                                                                                                                                                                                                                     v. Powers "Power-Stud+SD2" expansion anchor.
    ALL NOTES ARE TO BE REVIEWED AND APPLIED TO RELATED BUILDING COMPONENTS. NOTES
                                                                                                         presumptive bearing value of 3000 psf. Such bearing strata are anticipated at the bottom of footing elevations noted
                                                                                                                                                                                                                                     vi.Powers "Wedge-Bolt (use only in permanently dry, interior non-corrosive environments)"
                                                                                                          on the foundation plan. All bearing strata shall be reviewed by the engineer prior to placing concrete in order to verify
    APPEAR ON VARIOUS SHEETS FOR DIFFERENT SYSTEMS AND MATERIALS. SHEETS ARE TO BE
                                                                                                          the presumptive bearing value.
                                                                                                                                                                                                                                        Size, embedment, spacing and edge distance of anchors shall be as indicated on the drawings.
   REFER TO CIVIL DRAWINGS FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS.
                                                                                                       3 In areas requiring structural fill, the fill material shall be a uniformly graded mixture of sand and gravel weighing no
   ALL WORK NOTES ARE TO BE ASSUMED TO REFER TO NEW WORK UNLESS DESIGNATED AS
                                                                                                          less than 120 pcf dry density after compaction in place. This mixture shall be uniformly graded having no stone greater
                                                                                                          than 3 inches in any one dimension, with no more than 90 percent by weight passing a 1-1/2-inch sieve, and with
                                                                                                                                                                                                                                  B. Adhesive anchor rods or reinforcing bars shall be installed in rotary hammered drilled holes with carbide drill bits using
   ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES, STANDARDS, AND GOVERNING
                                                                                                                                                                                                                                     one of the following adhesive anchoring systems:
                                                                                                          less than 12 percent by weight, passing a no. 200 sieve. A soils testing lab, hired by the owner, shall test each
                                                                                                          on-site or borrow soil material proposed for backfill for classification according to ASTM D 2487 and for laboratory
                                                                                                                                                                                                                                     i. Hilti "HIT-HY 200 safe set system" with hollow drill bit or Hilti "HIT-RE-500 V3" adhesive anchoring system with
   THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE REFERRING TO THE
                                                                                                          compaction curve according to ASTM D 1557. Uniformly moisten or aerate subgrade and each backfill layer before
                                                                                                                                                                                                                                        ISO 898 Class 5.8 anchors rods (minimum yield strength = 58 ksi and minimum ultimate strength = 72.5 ksi) or
   DRAWINGS TO INSURE COMPLETE UNDERSTANDING OF THE TOTAL SCOPE OF THE WORK.
                                                                                                          compaction to within 2 percent of optimum moisture content. The fill material shall be placed in maximum lifts of 8
                                                                                                                                                                                                                                        ASTM A 193 Grade B7 high strength anchor rods.
    THE CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS, DETAILS, AND DIMENSIONS FOR
                                                                                                          inches in loose depth for material compacted by heavy compaction equipment, and in maximum lifts of 4 inches loose
    ACCURACY AND FEASIBILITY; MAKING ADJUSTMENTS FOR SAME. ANY DISCREPANCY IN DETAIL OR
                                                                                                                                                                                                                                     ii. Simpson "AT-XP" adhesive anchoring system for base material temperatures between 14 degrees and 80 degrees
                                                                                                          depth for material compacted by hand-operated tampers. Each lift shall be compacted with appropriate equipment to a
    DIMENSION SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
                                                                                                           minimum of 95 percent of its maximum density at or near optimum moisture. No lifts shall be placed when weather
                                                                                                                                                                                                                                        or Simpson "Set-XP" adhesive anchoring system for temperatures above 50 degrees, with Simpson "RFB" ASTM F
    THE CONTRACTOR SHALL PROTECT EXISTING MATERIALS AND FINISHES TO REMAIN FROM
                                                                                                          conditions are such that the moisture content of the fill cannot be properly controlled. In placing and compacting fill
                                                                                                                                                                                                                                        1554 Grade 36 anchor rods.
   DEMOLITION SCARS AND DUST.
                                                                                                          and backfill material, do not damage nor displace concrete work already in place by contact from compaction machinery,
                                                                                                                                                                                                                                     iii.Powers "PE 1000+" adhesive anchoring system with ASTM A 193 Grade B7 high strength torque controlled anchor
   NEW WORK ABUTTING OLD/EXISTING CONDITIONS SHALL CONFORM THE LINE AND PLANE OF THE
                                                                                                          by subjecting it to overturning from heavy compacting loadings, or any other cause. Place fill against such concrete at
    OLD WORK: THE NEW WORK SHALL INCLUDE CUTTING, PATCHING AND FITTING.
                                                                                                          the same rate as the remainder of fill, compacting uniformly on both sides using hand - operated tampers. A soils
                                                                                                                                                                                                                                      iv.Reinforcing bars shall conform to the requirements of the Concrete General Notes.
   ALL DIMENSIONS ARE IN FEET-INCHES UNLESS NOTED OTHERWISE.
                                                                                                          testing lab, hired by the owner, shall test compaction of soils in place according to ASTM D 1556, ASTM D 2167, ASTM
 O. DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. CONTRACTOR TO VERIFY ALL DIMENSIONS.
                                                                                                          D 2922, and ASTM D 2937 as applicable. When test reports indicate that backfills have not achieved the degree of
   . REFER TO WINDOW SCHEDULE ON SHEET A6.01 FOR ALL WINDOW, FRAME, SCREEN, SHUTTER,
                                                                                                                                                                                                                                        Adhesive for reinforcing bars and anchors shall have been tested in accordance with ACI 355.4 "Qualification of
                                                                                                          compaction specified, scarify and moisten or aerate, or remove and replace soil to depth required; recompact and retest
                                                                                                                                                                                                                                        Post-Installed Adhesive Anchors in Concrete" and ICC-ES (ICC Evaluation Service) "Acceptance Criteria for
                                                                                                          until specified compaction is obtained.
 12. REFER TO DOOR SCHEDULE ON SHEETS A6.02 FOR ALL EXTERIOR DOOR, FRAME, HARDWARE,
                                                                                                                                                                                                                                        Post-Installed Adhesive Anchors in Concrete Elements" (AC308) for cracked concrete and seismic applications.
                                                                                                       4 The slab-on-grade sub-base shall be a crusher run stone free from soft disintegrated pieces, mud, dirt, or other
                                                                                                         injurious material. The material shall have no stone greater than 2 inches in any one dimension and with less than 10
 13. REFER TO LIGHT FIXTURE SCHEDULE ON SHEET A6.02 FOR ALL LIGHT EXTERIOR FIXTURE SCOPE
                                                                                                                                                                                                                                        Adhesive bond design strength is based upon concrete that has cured at least 21 days with a minimum
                                                                                                                                                                                                                                        compressive strength of 2,500 psi and an in-service temperature in accordance with ACI 355.4 Temperature
 14. ALL ELEMENTS TO BE REMOVED AND RECREATED ARE TO BE THOROUGHLY DOCUMENTED TO
                                                                                                       5 The bottom of exterior footings not on solid rock shall be at least 3' - 6" below finished grade.
    THE EXTENT NECESSARY TO ACCURATELY RECREATE IN THE EXACT CONFIGURATION. DIMENSIONAL
                                                                                                       6 All soil surrounding and under footings shall be protected from freezing and frost action during the course of
   LAYOUT, AND MATERIALS (UNLESS NOTED OTHERWISE) AS THE ORIGINAL ELEMENTS. THE
                                                                                                                                                                                                                                        Installation method shall be in accordance with the Manufacturer's Printed Installation Instructions (MPI
   CONTRACTOR IS TO SUBMIT THE DOCUMENTATION FOR THE ARCHITECT'S REVIEW AND APPROVAL
                                                                                                       7 Step footings where elevations change at a maximum slope of one vertical on two horizontal and place lower footings
   PRIOR TO DEMO WORK. REFER TO SPECIFICATION SECTION 024296 FOR TYPICAL
                                                                                                                                                                                                                                         Installation of adhesive anchors horizontally or upwardly inclined to support sustained tension loads shall be
   DOCUMENTATION REQUIREMENTS.
                                                                                                       8 Foundation walls shall be temporarily braced until the framed floor system at the top of the wall has been poured and
                                                                                                                                                                                                                                        performed by personnel certified by the ACI/CRSI Adhesive Anchor Installer Certification program or equal.
ARCHITECTURAL GENERAL NOTES (EXTERIOR):

1. REMOVE ALL OF THE VINES FROM THE EXTERIOR OF THE HOUSE.
                                                                                                         the concrete has attained its specified compressive strength unless backfill is placed on both sides simultaneously and to
                                                                                                                                                                                                                                         Unless otherwise noted on the drawings, embed anchor rods and reinforcing bars into drilled holes a minimum of 9
   REPOINT 100% OF BRICK MASONRY ON HOUSE. WITH THE EXCEPTION OF THE MASONRY WALLS
                                                                                                                                                                                                                                        anchor diameters, with a minimum edge distance of 4 inches, measured from the edge of the concrete to the
                                                                                                       9 Keep foundation excavations free of water at all times.
                                                                                                                                                                                                                                        centerline of the anchor/reinforcing bar. Increased embedment depths or edge distances may be required at certain
    UNDER THE EAST AND WEST PORCH ROOFS (REFER TO SHEET A2.02).
                                                                                                       10Use lean concrete (f'c=1500 psi) or controlled compacted fill for over-excavation of footings.
   CLEAN ALL BRICK & STONE MASONRY ON MAIN HOUSE TO REMOVE BIOLOGICAL AND METALLIC
                                                                                                                                                                                                                                        locations, see plans and details.
                                                                                                        11Existing utilities: locate existing underground utilities in areas of excavation work. Provide adequate means of support
    STAINING AND FFFLORESCENCE.
   PATCH ALL HOLES AT REMOVED PIPES & FASTENERS. PATCHES SHOULD USE SALVAGED BRICK
                                                                                                         and protection during earthwork operations.
                                                                                                                                                                                                                                  3 Connections to grout filled concrete masonry shall be made with Hilti standard "HAS—E" ISO 898 Class 5.8 anchor rods
    IF LARGER THAN 1/2"Ø OTHERWISE PATCH CAN BE A MORTAR PATCH THAT MATCHES COLOR OF
                                                                                                       12Where footings are in close proximity of sub-surface piping, bottom of footings shall be at least 8" below elevation
                                                                                                                                                                                                                                  (minimum yield strength = 58 ksi and minimum ultimate strength = 72.5 ksi) using Hilti "HIT HY70" mosonry adhesive
    ADJACENT BRICKS.
                                                                                                                                                                                                                                  anchoring systems or with Simpson "RFB" ASTM F 1554 Grade 36 anchor rods using Simpson "Set-XP" masonry adhesive
   PREP & PAINT ALL EXTERIOR WOODWORK (CORNICE, STAVE COLUMNS, BALUSTRADES, DOORS,
   WINDOWS, SIDING, TRIM, ETC.) ON MAIN HOUSE. PREP WORK WILL INCLUDE MAKING ALL
                                                                                                       Structural Concrete Notes:
   REPAIRS NECESSARY TO PROVIDE COMPLETE AND SOUND WOOD ELEMENT. THIS WORK WILL
                                                                                                       1 All concrete work shall conform to all the requirements of ACI 301, "Specifications for Structural Concrete in Buildings"
                                                                                                                                                                                                                                  A. Unless otherwise noted on the drawings, embed anchor rods into drilled holes a minimum of 9 anchor diameters, with
   INCLUDE, BUT IS NOT LIMITED TO, PATCHING CRACKS, HOLES, MAKING DUTCHMAN REPAIRS
                                                                                                         and ACI 318 "Building Code Requirements for Structural Concrete", as specified in the code reference section of these
                                                                                                                                                                                                                                    a minimum edge distance of 4 measured from the edge of the masonry to the centerline of the anchor, increased
    WHERE LARGER SECTIONS ARE SEVERELY DETERIORATED OR MISSING, ETC. REFER TO
                                                                                                                                                                                                                                     embedment depths or edge distances may be required at certain locations, see plans and details.
    SPECIFICATION SECTION 062013. PAINT COLOR TO BE OFF-WHITE (TO MATCH MUNSELL 5Y 9/1
                                                                                                       2 Concrete shall be the specified weight and develop a minimum strength in 28 days as follows:
   OR BENJAMIN MOORE OC-94, SEMI-GLOSS) FOR ALL ELEMENTS EXCEPT SECOND FLOOR
   LOUVERED SHUTTERS WHICH ARE TO BE DARK GREEN (TO MATCH MUNSELL 2.5 BG 2/2 OR
                                                                                                                                                                                                                                4 Connections to hollow concrete or clay brick masonry shall be made with Hilti standard "HAS-E" ISO 898 Class 5.8
                                                                                                                                                Minimum Water/Cementitious Ratio
   BENJAMIN MOORE "ESSEX GREEN", SEMI-GLOSS). REFER TO SPECIFICATION SECTION 099113.
                                                                                                                                                                                                                                  anchor rods (minimum yield strength = 58 ksi and minimum ultimate strength = 72.5 ksi) using Hilti "HIT HY70"
   PROVIDE COPPER WIRE LOOP SNOW GUARDS. QUANTITY AND LAYOUT TO BE DETERMINED BY
                                                                                                                                  Weight Strength (or slump where indicated)
                                                                                                                                                                                                                                   masonry adhesive anchoring system with "HIT-SC" composite screen tubes or with Simpson "RFB" ASTM F 1554 Grade 36
                                                                                                                                                                                                                                  anchor rods using Simpson "SET-XP" masonry adhesive anchoring system with Simpson "Opti-mesh" plastic screen tubes.
   REMOVE & REINSTALL ALL AWNING MOUNTING BRACKETS. CLEAN & REFURBISH ALL BRACKETS
                                                                                                                                 Normal
                                                                                                                                            3,000 psiSlump: 4" +/- 1"
   & REINSTALL AFTER ADJACENT WORK.
                                                                                                            Walls and piers - general
                                                                                                                                            Normal 3,000 psi 0,50
                                                                                                                                                                                                                                  A. For anchors in hollow concrete masonry, embed anchor rods into drilled holes a minimum of 2 inches, with a
                                                                                                                                                                                                                                     minimum edge distance of 4 inches, unless otherwise noted, measured from the edge of the masonry to the centerline
                                                                                                            Slabs-on-grade -interior
                                                                                                                                            Normal 4,000 psi 0.45
                                                                                                                                                                                                                                     of the anchor. Increased embedment depths or edge distances may be required at certain locations, see plans and
ALTERNATE NOTES:

1. ALTERNATE 1: REPLACE ROOF OVER GARAGE WITH NEW MEMBRANE ROOF. REBUILD EAST
                                                                                                            Slabs-on-grade -exterior
                                                                                                                                            Normal 4,500 psi 0.40
    GARAGE PARAPET WALL. PROVIDE SEALANT AT ALL COPING UNITS. PROVIDE ALUMINUM GUTTER
                                                                                                       3 All detailing fabrication, and erection of reinforcing bars, unless otherwise noted, must follow the latest ACI code and the
                                                                                                                                                                                                                                  B. For anchors in hollow clay brick masonry, embed anchor rods into drilled holes a minimum of 3 1/2 inches, with a
    AND DOWNSPOUT. CLEAN MARBLE COPING UNITS. REFER TO DRAWINGS FOR FURTHER
                                                                                                         latest ACI "Manual of Standard Practice for Detailing Reinforced Concrete Structures".
                                                                                                                                                                                                                                     minimum edge distance of 12 inches, unless otherwise noted, measured from the edge of the masonry to the
                                                                                                                                                                                                                                     centerline of the anchor, Increased embedment depths or edge distances may be required at certain locations, see
                                                                                                       4 Concrete design mix will be submitted to the engineer for review, together with laboratory reports attesting that the
                                                                                                         mixes can attain the minimum strength required in accordance with ACI 301 indicated above.
                                                                                                       5 Portland cement shall be Type I or Type II and conform to ASTM C 150.
                                                                                                       6 Other cementitious material such as flyash or ground granulated blast- furnace slag may be blended with cement for
                                                                                                                                                                                                                                Structural Steel Notes:
                                                                                                          use in the concrete mix. Flyash shall conform to ASTM C 618 and may replace cement if the following ranges for the
                                                                                                                                                                                                                                 1 Design fabrication and erection of structural steel shall conform to the American Institute of Steel Construction's
                                                                                                           2 classes of flyash; Class C, 20 to 35%; Class F, 15 to 25%. Ground granulated blast— furnace slag shall conform to
                                                                                                                                                                                                                                   "Specification for Structural Steel for Buildings", as specified in the code reference section of these general notes
                                                                                                          ASTM C 989 and may not exceed 50% of total weight of cementitious materials.
                                                                                                       7 For normal weight concrete: coarse aggregate shall be 3/4" and conform to ASTM C 33. Fine aggregate shall be
                                                                                                          manufactured or natural sand from the same source for the entire project and shall conform to ASTM C 33.
                                                                                                                                                                                                                                                                ASTM A 36
                                                                                                       8 No admixtures are permitted without the engineers written permission other than entrained air. Concrete exposed to the
                                                                                                                                                                                                                                  Bolts
                                                                                                                                                                                                                                                                ASTM A 325
                                                                                                          weather, such as that used in foundation walls, shall contain 5\% \pm 1\% entrained air. Do not use air entrainment
                                                                                                          admixture for interior normal weight concrete slabs.
                                                                                                                                                                                                                                  Anchor rods
                                                                                                                                                                                                                                                               ASTM F 1554, Grade 36
                                                                                                       9 Limit water-soluble, chloride-ion content in hardened concrete to 0.30 percent by weight of cement.
                                                                                                       10Lightweight concrete mix shall have a calculated equilibrium weight of 115 pcf plus or minus 3 pcf as determined by
                                                                                                                                                                                                                                GENERAL GUIDELINES FOR LINTELS:
                                                                                                         ASTM C 567. Lightweight aggregate shall have maximum size of 3/4 inch and shall conform to ASTM C 330. Aggregate
                                                                                                          shall be presoaked as per lightweight aggregate manufacturer's instructions.
                                                                                                                                                                                                                                   nless otherwise noted, for lintels over doors, windows, ducts, and miscellaneous openings in non-bearing 4", 8" and
                                                                                                       11Reinforcing steel shall conform to ASTM A 615, Grade 60,
                                                                                                                                                                                                                                  2" cmu and for brick walls, use for each 4" of masonry
                                                                                                       12Welded wire fabric shall conform to ASTM A 1064 with a minimum yield strength of 75 ksi. Lap one mesh size at
                                                                                                         sides and ends, and wire together.
                                                                                                       13The following concrete cover shall be provided for reinforcement:
                                                                                                                                              Cover (inches)
                                                                                                            Concrete cast against and
                                                                                                            Permanently exposed to earth
                                                                                                            Concrete exposed to earth or weather
                                                                                                               #6 through #18 bars
                                                                                                                #5 bar and smaller
                                                                                                            Concrete not exposed to weather or in contact with ground
                                                                                                             Slabs, walls, joists:
                                                                                                               #14 and #18 bars
                                                                                                               #11 bar and smaller
                                                                                                                                                  3/4
                                                                                                              Beams, columns
                                                                                                              Primary reinforcement, ties, stirrups, spirals1 1/2
                                                                                                       14The conveyance, placement and protection of the concrete shall conform to the requirements of ACI 318, indicated
                                                                                                         above, and ACI 304R, "Guide for Measuring, Mixing, Transporting and Placing Concrete". Mechanical vibrators are to be
                                                                                                           used to consolidate the freshly cast concrete around the reinforcing and against form surfaces and to prevent the
```

formation of air or stone pockets, honeycombing, pitting or planes of weakness. However, care must be used to avoid

over vibration that can lead to aggregate segregation.

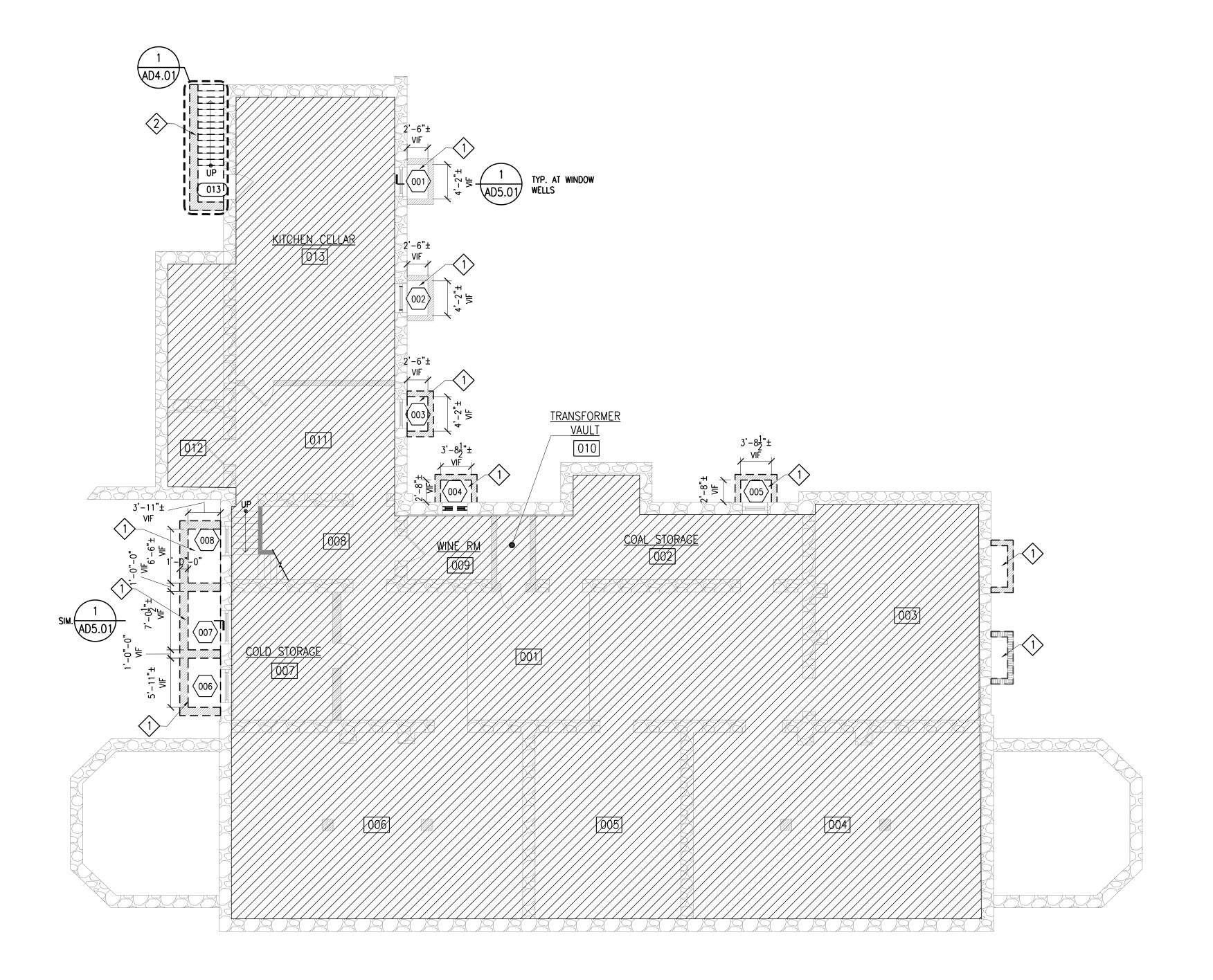
15No welding of reinforcing will be permitted.

16All lap splices shall be Class B, in accordance with ACI 318 indicated above.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION. LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW. IN CHARGE OF _____

aeyer, garment & davidson architects, pc 285 main street mount kisco, new york 10549 p: 914.666.5900 f: 914.666.0051 kgdarchitects.com [06/07/19] RC EK ISSUED FOR BID REVISION | MADE DATE **REVISION** BY NUMBER RECORD DRAWING CERTIFICATION AS BUILT - CHANGES AS NOTED AS BUILT - NO CHANGES CONTRACTOR PROJECT COORDINATOR NAME ___ NAME SIGNATURE SIGNATURE ____ DATE DATE WESTCHESTER COUNTY, NEW YORK NUMBER NUMBER 15-556 DEPARTMENT OF PUBLIC WORKS SHEET NO. 4 OF 30 DIVISION OF ENGINEERING SCALE: NTS MAIN HOUSE REHABILITATION - MERESTEAD DATE: 06/07/19 BEDFORD AND NEW CASTLE, NEW YORK DPW FILE NO. GENERAL NOTES & LEGEND 92-01-G-31-0

1 - PROJECT/BUILDING INFO. 4 - HISTORIC BUILDING LISTED ON NATIONAL REGISTER OF HISTORIC PLACES IN 1984 CLIENT NAME: WESTCHESTER COUNTY, NY DEPARTMENT OF PUBLIC WORKS & TRANSPORTATION REPAIRS TO ANY PORTION OF A HISTORIC BUILDING OR STRUCTURE SHALL BE PERMITTED WITH ORIGINAL OR LIKE MATERIALS PER IEBC 1202.1 BUILDING NAME: MERESTEAD MANSION CLASSIFICATION OF WORK: LEVEL 1 ALTERATIONS TO EXISTING HISTORIC EXISTING DOOR OPENINGS AND CORRIDOR AND STAIRWAY WIDTHS MAY BE APPROVED BUILDING PER IEBC 1203.3. START DATE: SUMMER 2019 1 HR FIRE-RESISTANCE-RATED CONSTRUCTION NOT REQUIRED PER IEBC 1203.7 WINTER 2019 (PROJECTED) COMPLETION DATE: (EXISTING WALL AND CEILING FINISH IS WOOD OR METAL LATH & PLASTER) APPLICABLE BUILDING 2015 IBC, 2015 IRC, 2015 IEBC, 2015 IPC, 2015 IMC, CODES: 2015 IFC, 2015 IECC PROJECT DESCRIPTION: 5 - GENERAL CONSTRUCTION NOTES 1. RESTORATION — EXTERIOR ENCLOSURE: ROOF, MASONRY REPAIR, WOOD TRIM & DETAILING, WINDOWS & SHUTTERS, DOORS & HARDWARE 2. SITE UPGRADES: 1. EXISTING EXITS AND EXIT PATHWAYS SHALL REMAIN CLEAR AND OPERABLE AT DRAINAGE & UTILITIES ALL TIMES WHILE THE BUILDING IS OCCUPIED. 2. BUILDING NOT OCCUPIED DURING CONSTRUCTION. USE & OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-2 (DORMITORY) 3. THE AREAS BEING DISTURBED AS PART OF THIS PROJECT ARE TO BE TESTED DEFINITION - DORMITORY: A SPACE IN A BUILDING WHERE GROUP SLEEPING FOR HAZARDOUS MATERIALS. A FULL COPY OF THE REPORT IS TO BE MADE ACCOMMODATIONS ARE PROVIDED IN ONE ROOM, OR IN A SERIES OF CLOSELY AVAILABLE. ASSOCIATED ROOMS, FOR PERSONS NOT MEMBERS OF THE SAME FAMILY GROUP, UNDER JOINT OCCUPANCY AND SINGLE MANAGEMENT ... NOTE: ASSEMBLY SPACES ARE CLASSIFIED AS PART OF R-2 PER IBC 303.1.2-1 'A ROOM OR SPACE USED FOR ASSEMBLY PURPOSES WITH AN OCCUPANT LOAD 7 - ENERGY CODE COMPLIANCE LESS THAN 50 PERSONS AND ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS PART OF THAT OCCUPANCY.' PER IEBC 811.1, ALTERATIONS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF IN THE CASE OF A SPECIAL EVENT WHERE 50 PEOPLE OR MORE ARE PLANNED THE IECC AS THEY RELATE TO NEW CONSTRUCTION ONLY. TO ATTEND, A DEDICATED 'FIRE WATCH' PERSON SHALL BE PRESENT TO ASSIST IN CASE OF AN EMERGENCY. CLIMATE ZONE: 4A REQUIREMENT FOR ROOF (ATTIC AND OTHER): R-38GENERAL BUILDING HEIGHTS & AREAS: THERE ARE NO NEW WINDOWS OR DOORS AS PART OF THIS PROJECT ALLOWABLE HEIGHT (TYPE 5B): 2 STORIES, 40' ALLOWABLE BUILDING AREA: 7,000 SF PER LEVEL CONSTRUCTION TYPE: 5B BUILDING AREA TABLE YEAR CONST STORIES REMOVED NEW EXISTING BUILT TYPE BASEMENT 1ST FLR 2ND FLR 3RD FLR 1907 | 5B | 3* | 5,475 sf | 5,960 sf | 5,960 sf | 3,615 sf | TOTAL EXIST FLR AREA: 21,010 sf (NO CHANGE) *INDICATES EXISTING NON-CONFORMING CONDITION kaeyer, garment & davidson architects, pc 285 main street mount kisco, new york 10549 p: 914.666.5900 f: 914.666.0051 kgdarchitects.com 06/07/19 RC EK ISSUED FOR BID REVISION DATE MADE APP'D REVISION BY NUMBER RECORD DRAWING CERTIFICATION AS BUILT - CHANGES AS NOTED AS BUILT - NO CHANGES CONTRACTOR PROJECT COORDINATOR NAME _____ NAME _____ SIGNATURE __ WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION. WESTCHESTER COUNTY, NEW YORK NUMBER NUMBER 15-556 G1.01 DEPARTMENT OF PUBLIC WORKS LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW. DIVISION OF ENGINEERING SHEET NO. 5 OF 30 SCALE: AS SHOWN IN CHARGE OF _____ MAIN HOUSE REHABILITATION - MERESTEAD DATE: 06/07/19 BEDFORD AND NEW CASTLE, NEW YORK DPW FILE NO. MADE BY _____ 92-01-G-32-0 CODE COMPLIANCE INFORMATION



BASEMENT DEMO PLAN

SCALE: 1/8"=1'-0"

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.
LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.
IN CHARGE OF
CHECKED BY

2>	CAREFULLY AND CONC	DOCUM	TEPS AND SLA	AB. REMOVE &	SALVAGE BRICK	AT SIDEWALLS.	BLUESTONE PAVERS, REMOVE CONCRETE S APPROVAL PRIOR TO F	TAIRS & SLAB.
STERED AL	TC,					•		
	SEYER *	kae	eyer, garme	ant & davidson t mount kisco, i	ı architects, p	C		
FOF NEV				f: 914.666.0051				
SION		RC ADE	EK APP'D BY	ISSUED F	OR BID	REVISIO	N	
AS BUI	LT - C LT - N		GES AS	RD DRAWIN NOTED	IG CERTIF	ICATION		
TURE	CONT				NAME		COORDINATOR	?
				UNTY, PUBL		YORK ORKS	CONTRACT NUMBER 15-556	SHEET NUMBER AD1.01
MAIN	J HOUS!	IVISI E RE	ON OF E	ATION -	I <mark>G</mark> Merestea	AD	SHEET NO. 6 SCALE: 1/8" DATE: 06/0	= 1'-0 " 07/19
				EMO PLAN			92-01-A-3	NO.

EXISTING ELEMENTS TO REMAIN.

EXISTING BRICK MASONRY WALL

EXISTING STONE RUBBLE WALL

DOOR #. REFER TO DOOR SCHEDULE ON SHEET A6.02.

WINDOW #. REFER TO WINDOW SCHEDULE ON SHEET A6.01.

///_ NOT IN CONTRACT -- NO INTERIOR SCOPE UNLESS INDICATED OTHERWISE ON DRAWINGS.

CAREFULLY DOCUMENT THE LOCATION, SIZE, AND CONFIGURATION OF ALL WINDOW WELLS AND BRICK BORDERS SO THEY CAN BE RE-BUILT LATER. REMOVE & SALVAGE AREA WELL GRATE COVERS FOR LATER REINSTALLATION. CAREFULLY REMOVE & SALVAGE BRICK BORDER FOR LATER REINSTALLATION. REMOVE & SALVAGE BRICK IN AREA

WELL WALLS. REMOVE CONCRETE SLAB, DRAIN, AND ASSOCIATED PIPING. SUBMIT DOCUMENTATION FOR REVIEW &

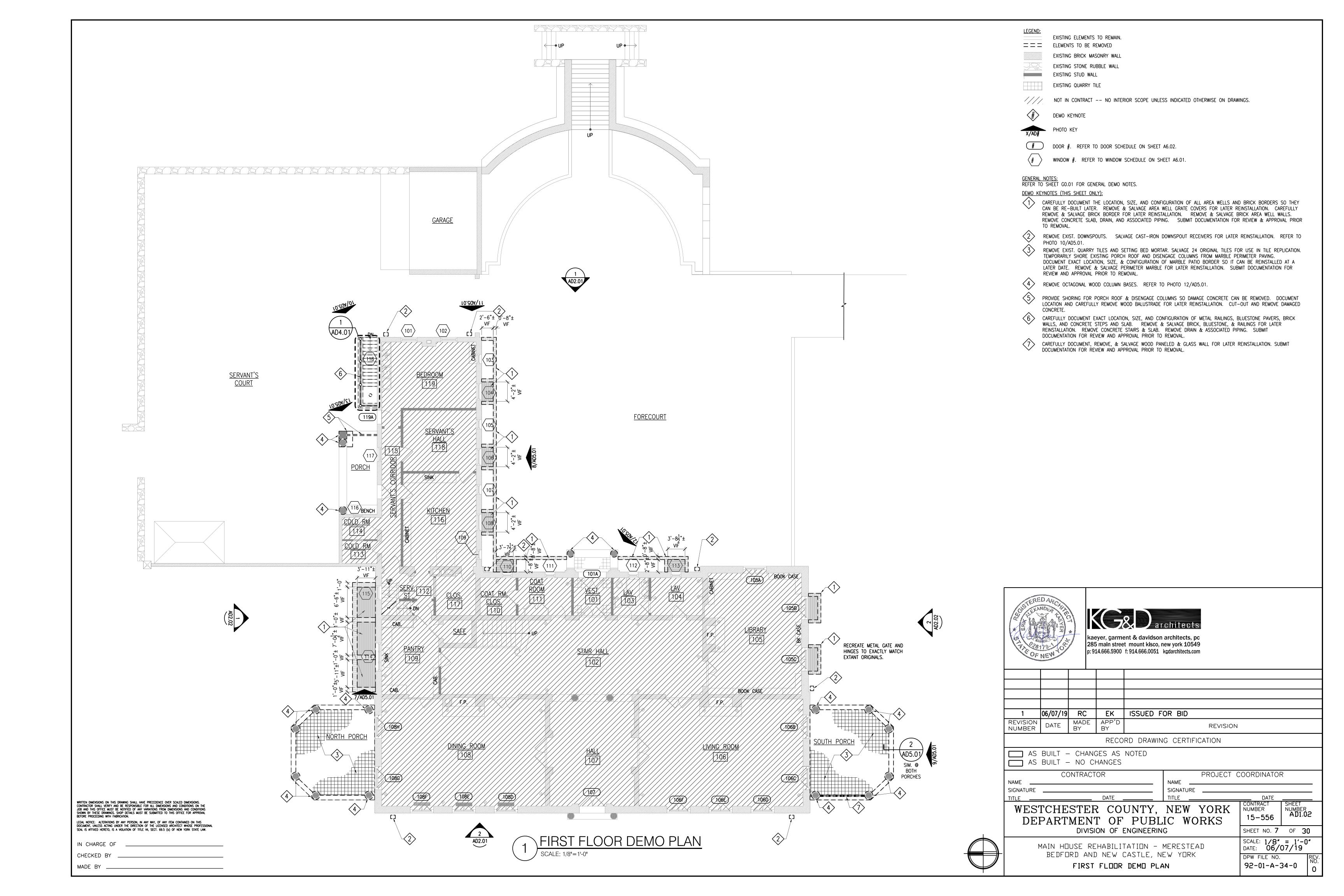
=== ELEMENTS TO BE REMOVED

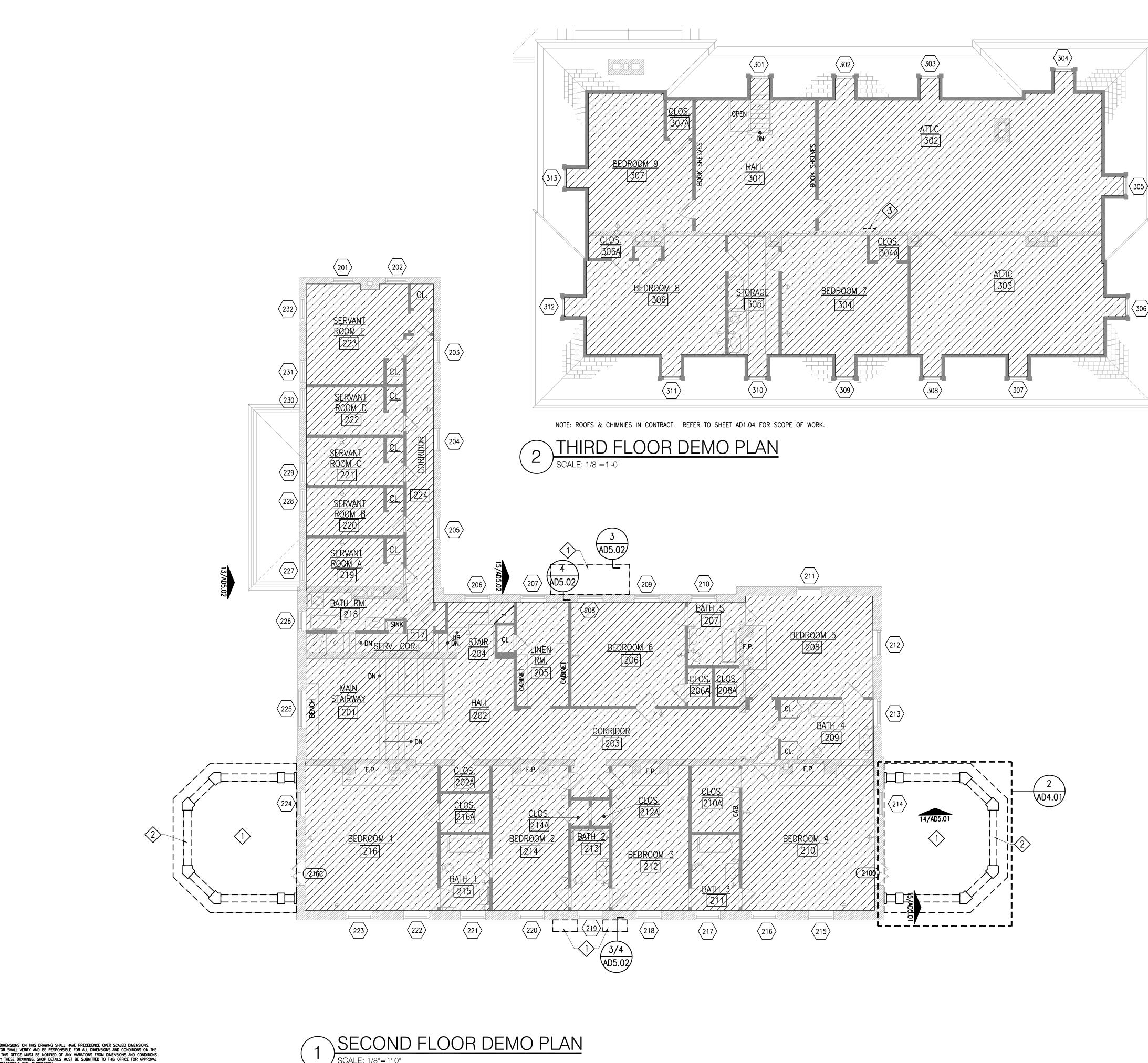
DEMO KEYNOTE

GENERAL NOTES: REFER TO SHEET GO.01 FOR GENERAL DEMO NOTES.

DEMO KEYNOTES (THIS SHEET ONLY):

EXISTING STUD WALL





IN CHARGE OF

AS BUILT - NO CHANGES CONTRACTOR NAME SIGNATURE WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS 15-556 DIVISION OF ENGINEERING SHEET NO. 8 OF 30 MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK SECOND & THIRD FLOOR DEMO PLANS 92-01-A-35-0

kaeyer, garment & davidson architects, pc 285 main street mount kisco, new york 10549 p: 914.666.5900 f: 914.666.0051 kgdarchitects.com

EXISTING ELEMENTS TO REMAIN. ELEMENTS TO BE REMOVED

EXISTING BRICK MASONRY WALL

EXISTING STONE RUBBLE WALL

GENERAL NOTES: REFER TO SHEET GO.01 FOR GENERAL DEMO NOTES.

REMOVE WOOD LADDER IN ATTIC ROOM 302.

DOOR #. REFER TO DOOR SCHEDULE ON SHEET A6.02.

WINDOW #. REFER TO WINDOW SCHEDULE ON SHEET A6.01.

DEMO KEYNOTE

DEMO KEYNOTES (THIS SHEET ONLY):

NOT IN CONTRACT -- NO INTERIOR SCOPE UNLESS INDICATED OTHERWISE ON DRAWINGS.

REMOVE FLAT SEAM COPPER ROOF, FLASHING AND ALL DAMAGED ROOF DECK. NOTE THAT BALCONY COPPER ROOFS HAVE BEEN PAINTED WITH AN ASPHALTIC ROOFING.

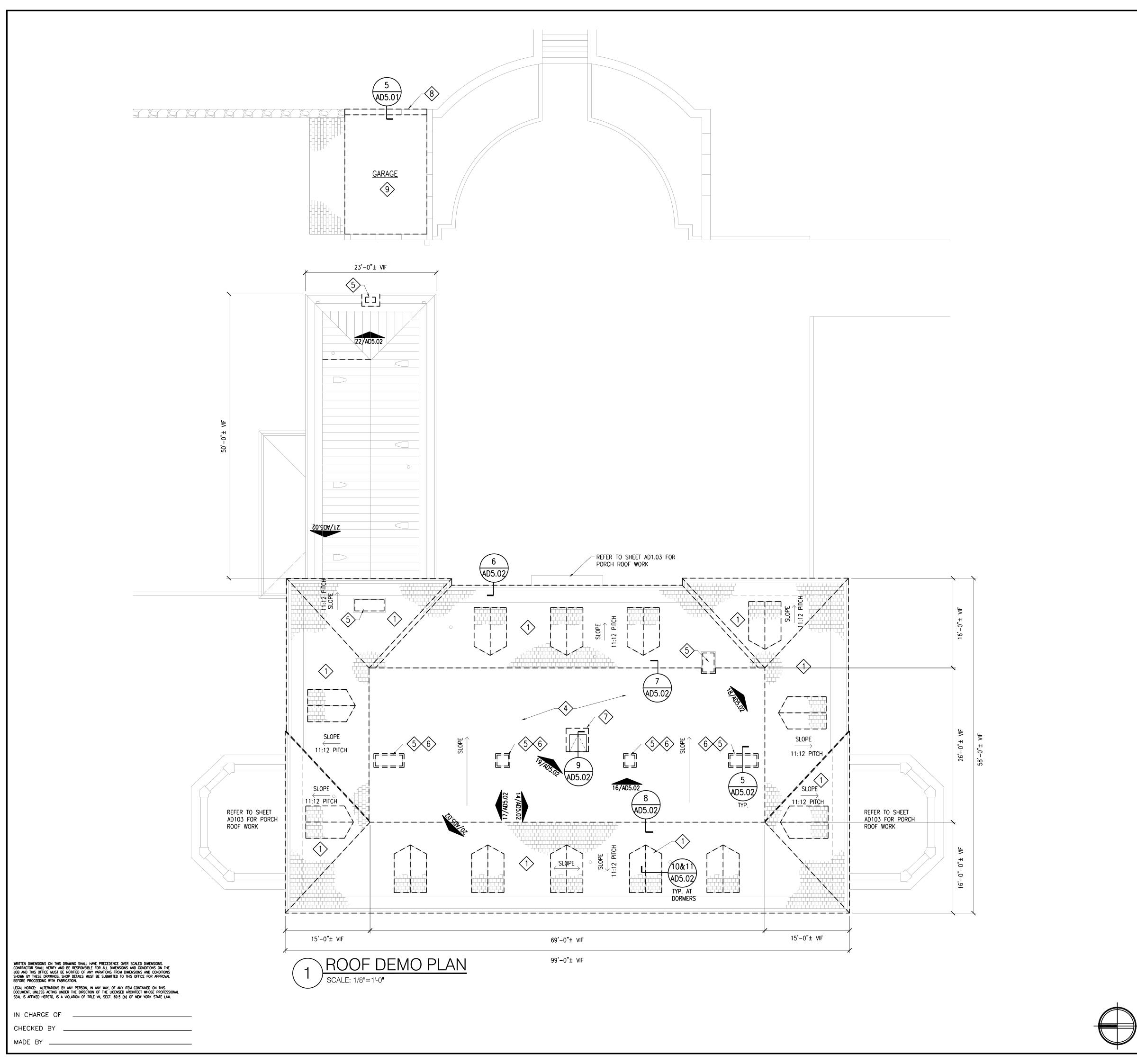
REMOVE/PARTIALLY SALVAGE WOOD BALUSTRADE. REFER TO DETAIL 2/AD4.01.

1	06/07/19	RC	EK	ISSUED FOR BID					
REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION					
	RECORD DRAWING CERTIFICATION								

AS BUILT - CHANGES AS NOTED

PROJECT COORDINATOR DATE CONTRACT NUMBER SHEET NUMBER

AD1.03



EXISTING ELEMENTS TO REMAIN. NEW CONSTRUCTION SLATE ROOF MEMBRANE ROOF NOT IN CONTRACT

GENERAL DEMO NOTES:

1. REFER TO SHEET GO.01 FOR GENERAL DEMO NOTES.

2. REFER TO SPECIFICATION SECTIONS 028213 FOR LEAD PAINT AND 028334 FOR ACM. REFER TO THE CONSTRUCTION HEALTH & SAFETY REPORT FOR LISTING OF MATERIALS CONTAINING ACM..

DEMO KEYNOTES (THIS SHEET ONLY):

CAREFULLY REMOVE & SALVAGE NON-CUT SLATE TILES IN GOOD CONDITION (NO CRACKS, CHIPS, SURFACE EROSION). ASSUME APPROXIMATELY 75% CAN BE SALVAGED. REMOVE ALL CUT SLATE TILES, FLASHING, AND COPPER GUTTER LINERS. REMOVE ALL DAMAGED GUTTER LINER SUBSTRATE/DECKING AND ALL DAMAGED WOOD ROOF DECK.

2 REMOVE COPPER STANDING SEAM ROOF & FLASHING. REMOVE ALL DAMAGED ROOF DECKING.

REMOVE COPPER FLAT SEAM GUTTER LINER.

REMOVE ASPHALTIC ROOFING.

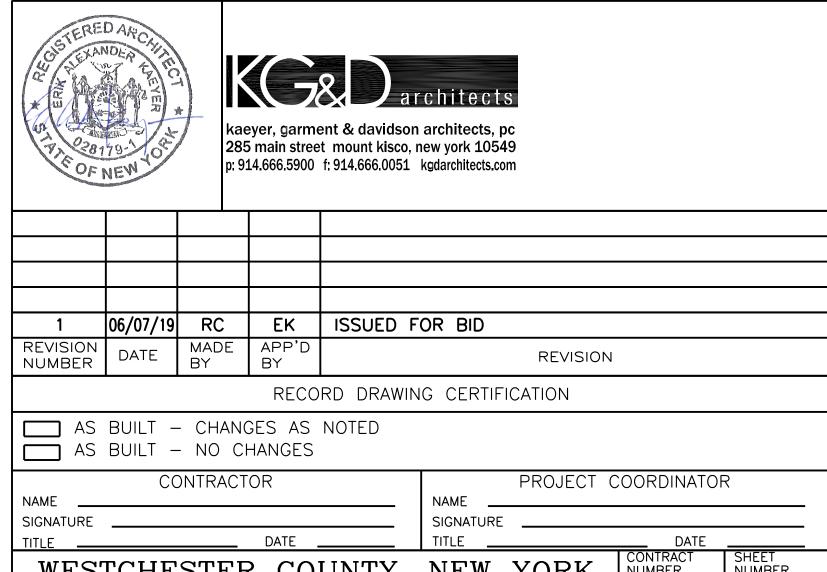
75 REMOVE METAL CHIMNEY CAPS & BIRD SCREEN.

DOCUMENT EXACT SIZE AND CONFIGURATION. CAREFULLY DISASSEMBLE CHIMNEY DOWN TO ROOF DECK. SALVAGE ALL BRICK, MARBLE CHIMNEY CAP, AND FLUE TILES FOR LATER REINSTALLATION. CAREFULLY REMOVE MORTAR FROM BRICK, MARBLE CHIMNEY CAP, AND FLUE TILES FOR LATER REINSTALLATION. CAREFULLY REMOVE MORTAR FROM

REMOVE EXIST. ROOF HATCH & WOOD CURB DOWN TO ROOF DECK.

ALTERNATE 1: DOCUMENT, CAREFULLY REMOVE, & SALVAGE PARAPET WALL DOWN TO ROOF LEVEL. CAREFULLY REMOVE ALL MORTAR FROM SALVAGED BRICK AND MARRIE COPING LINITS FOR LATER CONSTRUCTION REMOVE ALL MORTAR FROM SALVAGED BRICK AND MARBLE COPING UNITS FOR LATER CONSTRUCTION.

9 ALTERNATE 1: REMOVE GARAGE ROOF & DECKING.



WESTCHESTER COUNTY, NEW YORK

DEPARTMENT OF PUBLIC WORKS

DIVISION OF ENGINEERING

MAIN HOUSE REHABILITATION - MERESTEAD

BEDFORD AND NEW CASTLE, NEW YORK

ROOF DEMO PLAN

SHEET NUMBER

AD1.04

NUMBER

15-556

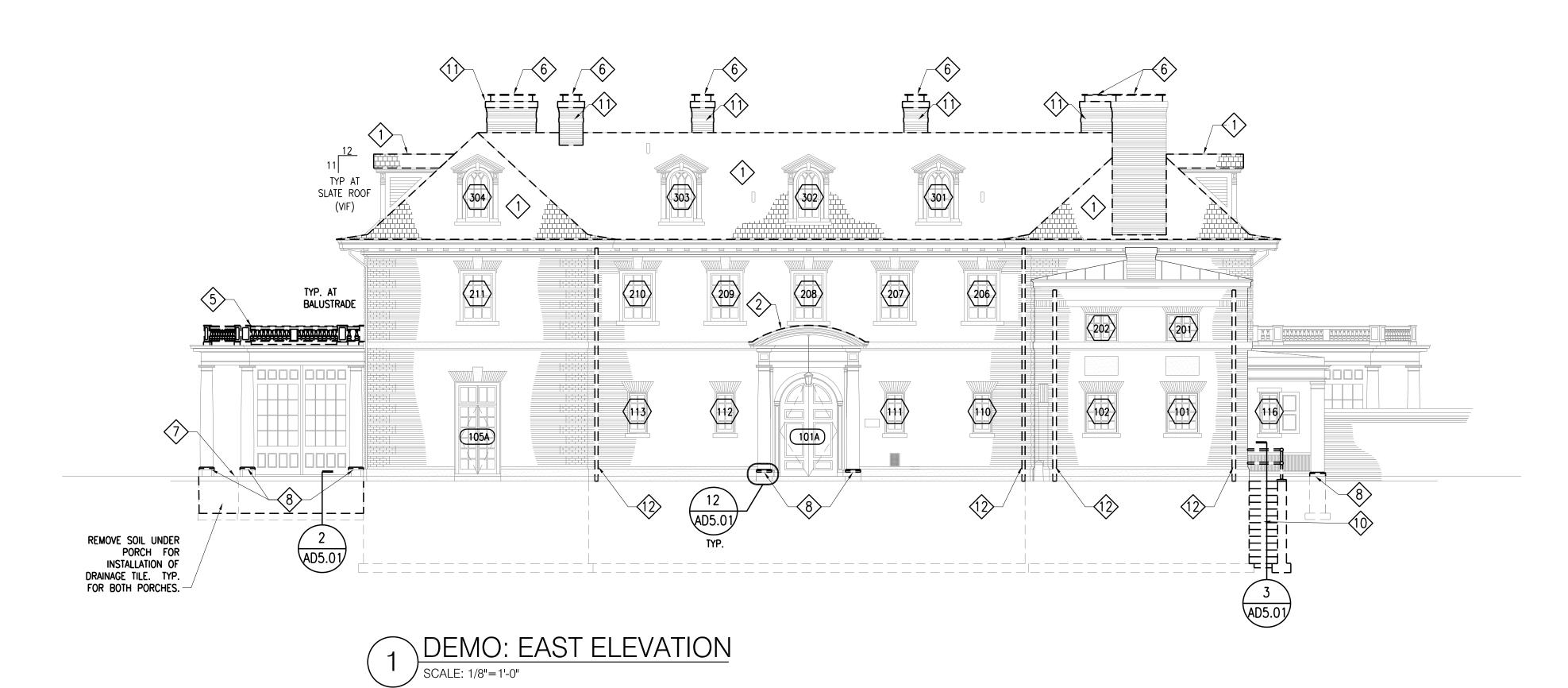
DPW FILE NO.

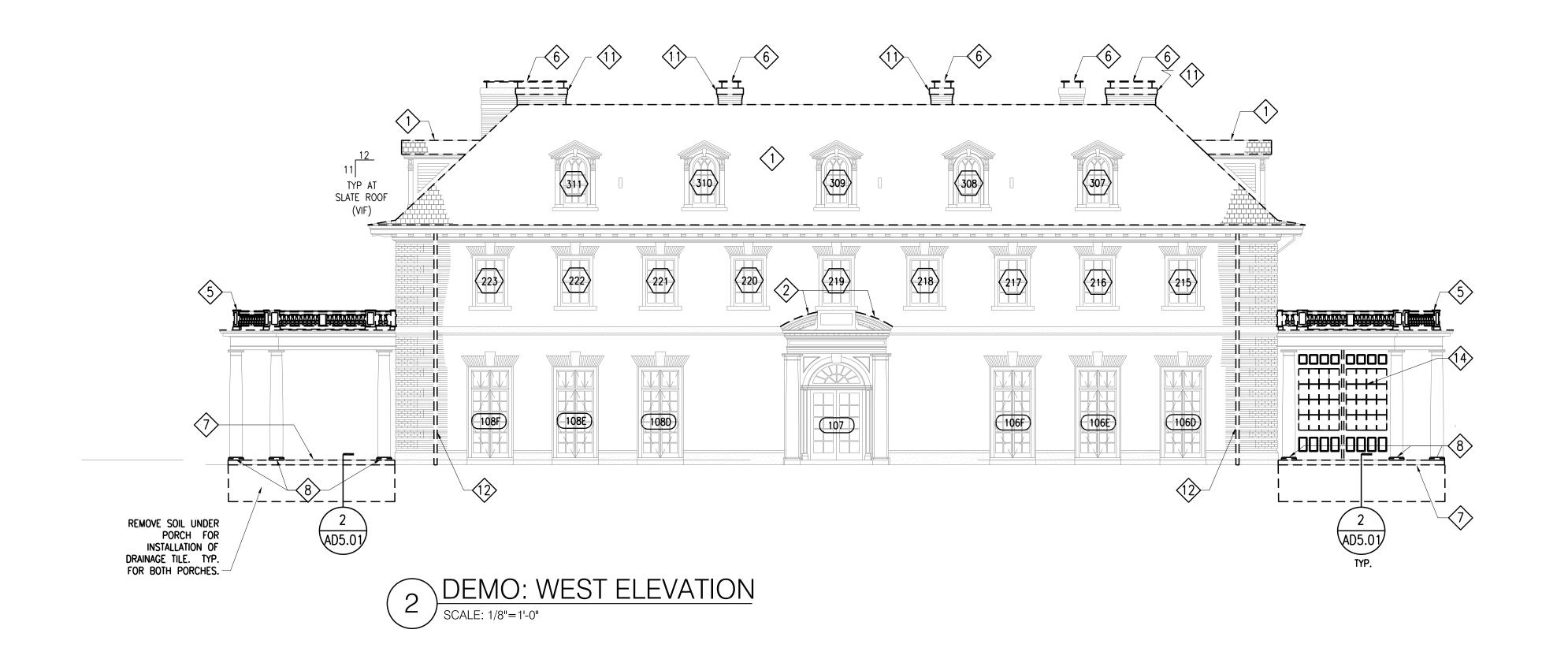
SHEET NO. 9 OF 30

SCALE: 1/8" = 1'-0"

DATE: 06/07/19

92-01-A-36-0





WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE
JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS
SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL
BEFORE PROCEEDING WITH FABRICATION.

LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS
DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL
SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.

IN CHARGE OF

CHECKED BY

MADE BY

kaeyer, garment & davidson architects, pc 285 main street mount kisco, new york 10549 p: 914.666.5900 f: 914.666.0051 kgdarchitects.com								
1	06/07/19	RC	EK	ISSUED F	OR BID			
REVISION NUMBER	DATE	MADE BY	APP'D BY	100025	REVISION	l		
			RECO	RD DRAWIN	NG CERTIFICATION			
I —	BUILT - BUILT -		GES AS HANGES	NOTED				
NAME	CC	ONTRACT	OR		PROJECT	COORDINATO	₹	
SIGNATURE					SIGNATURE			
TITLE			DATE .		TITLE	DATE CONTRACT	SHEET	
				*	NEW YORK IC WORKS	NUMBER 15-556	NUMBER AD2.	
DIVISION OF ENGINEERING					SHEET NO. 10) OF 3	30	
MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK						· ·	07/19	
	בבבי ב		**			DPW FILE NO.		REV. NO.
E	AST &	WEST	EXTERI	OR DEMO E	ELEVATIONS	92-01-A-	37-0	0

<u>LEGEND:</u>

DEMO KEYNOTES:

EXISTING ELEMENTS TO REMAIN.

GENERAL NOTES:

1. REFER TO SHEET GO.01 FOR GENERAL DEMO NOTES.

ASSUME ACM IN ROOFING MATERIALS. REFER TO SPECIFICATION SECTION 028334.

REMOVE/PARTIALLY SALVAGE WOOD BALUSTRADE. REFER TO 2/AD4.01.

DOCUMENTATION FOR REVIEW AND APPROVAL PRIOR TO REMOVAL.

CONCRETE. SUBMIT DOCUMENTATION FOR REVIEW AND APPROVAL PRIOR TO REMOVAL.

REMOVE WOOD DOORS & FRAMING AS REQUIRED TO INSTALL NEW LOUVER.

BRICK AND MARBLE. SUBMIT DOCUMENTATION FOR REVIEW AND APPROVAL PRIOR TO REMOVAL.

FOR LATER REINSTALLATION. SUBMIT DOCUMENTATION FOR REVIEW AND APPROVAL PRIOR TO REMOVAL.

CAREFULLY REMOVE & SALVAGE NON-CUT SLATE TILES IN GOOD CONDITION (NO CRACKS, CHIPS, SURFACE EROSION). ASSUME APPROXIMATELY 75% CAN BE SALVAGED. REMOVE ALL CUT SLATE TILES, FLASHING, AND COPPER GUTTER

CAREFULLY DOCUMENT FOR LATER RECREATION & REMOVE COPPER ROOF & FLASHING. REMOVE ALL DAMAGED ROOF

ALTERNATE 1: DOCUMENT, CAREFULLY REMOVE, & SALVAGE PARAPET WALL DOWN TO ROOF LEVEL. CAREFULLY REMOVE ALL MORTAR FROM SALVAGED BRICK AND MARBLE COPING UNITS FOR LATER CONSTRUCTION.

REMOVE EXIST. QUARRY TILES AND SETTING BED MORTAR. SALVAGE 24 ORIGINAL TILES FOR USE IN REPLICATING ORIGINAL TILES. TEMPORARILY SHORE EXISTING PORCH ROOF AND DISENGAGE COLUMNS FROM MARBLE PERIMETER PAVING. DOCUMENT EXACT LOCATION, SIZE, & CONFIGURATION OF MARBLE PATIO BORDER SO IT CAN BE REINSTALLED AT A LATER DATE. REMOVE & SALVAGE PERIMETER MARBLE FOR LATER REINSTALLATION. SUBMIT

PROVIDE SHORING FOR PORCH ROOF & DISENGAGE COLUMNS SO DAMAGE CONCRETE CAN BE REMOVED. DOCUMENT

CAREFULLY DOCUMENT EXACT LOCATION, SIZE, AND CONFIGURATION OF METAL RAILINGS, BLUESTONE PAVERS, BRICK

SLAB. REMOVE DRAIN & ASSOCIATED PIPING. SUBMIT DOCUMENTATION FOR REVIEW AND APPROVAL PRIOR TO

WALLS, AND CONCRETE STEPS AND SLAB. REMOVE & SALVAGE BRICK AT SIDEWALLS. REMOVE CONCRETE STAIRS &

DOCUMENT EXACT SIZE AND CONFIGURATION. CAREFULLY DISASSEMBLE CHIMNEY DOWN TO ROOF DECK. SALVAGE ALL BRICK, MARBLE CHIMNEY CAP, AND FLUE TILES FOR LATER REINSTALLATION. CAREFULLY REMOVE MORTAR FROM

REMOVE EXIST. DOWNSPOUTS. SALVAGE CAST-IRON DOWNSPOUT RECEIVERS FOR LATER REINSTALLATION. REFER TO

CAREFULLY DOCUMENT EXACT LOCATION, SIZE, AND CONFIGURATION OF WOOD/GLASS PATIO WALL. REMOVE & SALVAGE

LOCATION AND CAREFULLY REMOVE WOOD BALUSTRADE FOR LATER REINSTALLATION. CUT-OUT AND REMOVE DAMAGED

LINERS. REMOVE DAMAGED GUTTER LINER SUBSTRATE/DECKING. REMOVE ALL DAMAGED ROOF DECKING.

ASSUME LEAD PAINT. REFER TO SPECIFICATION SECTION 028213.

ALTERNATE 1: REMOVE GARAGE ROOF & DECKING.

REMOVE METAL CHIMNEY CAPS & BIRD SCREEN.

REMOVE OCTAGONAL WOOD COLUMN BASES.

PHOTO 11/AD5.01.

REFER TO SPECIFICATION SECTION 312112 FOR ENVIRONMENTAL MANAGEMENT.
 REFER TO CONSTRUCTION HEALTH AND SAFETY PALN PREPARED BY AKRF.

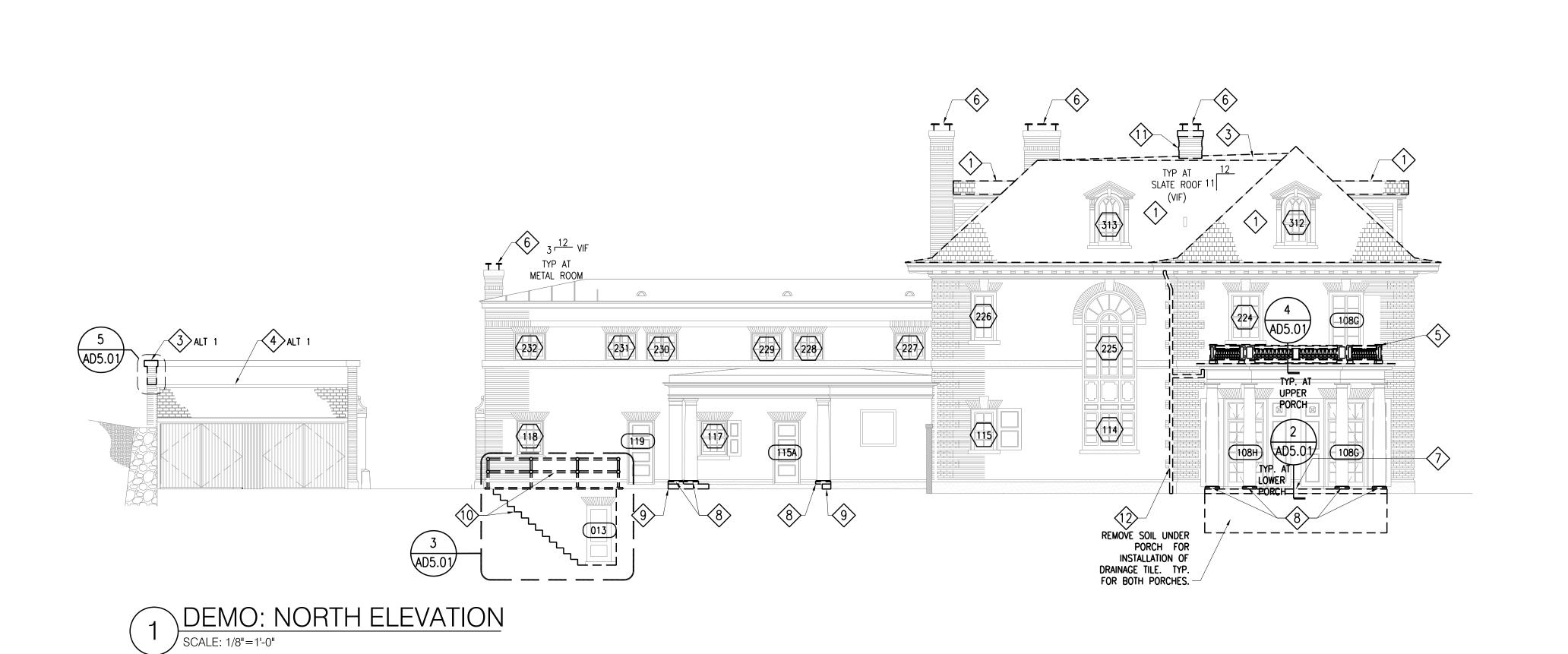
ELEMENTS TO BE REMOVED

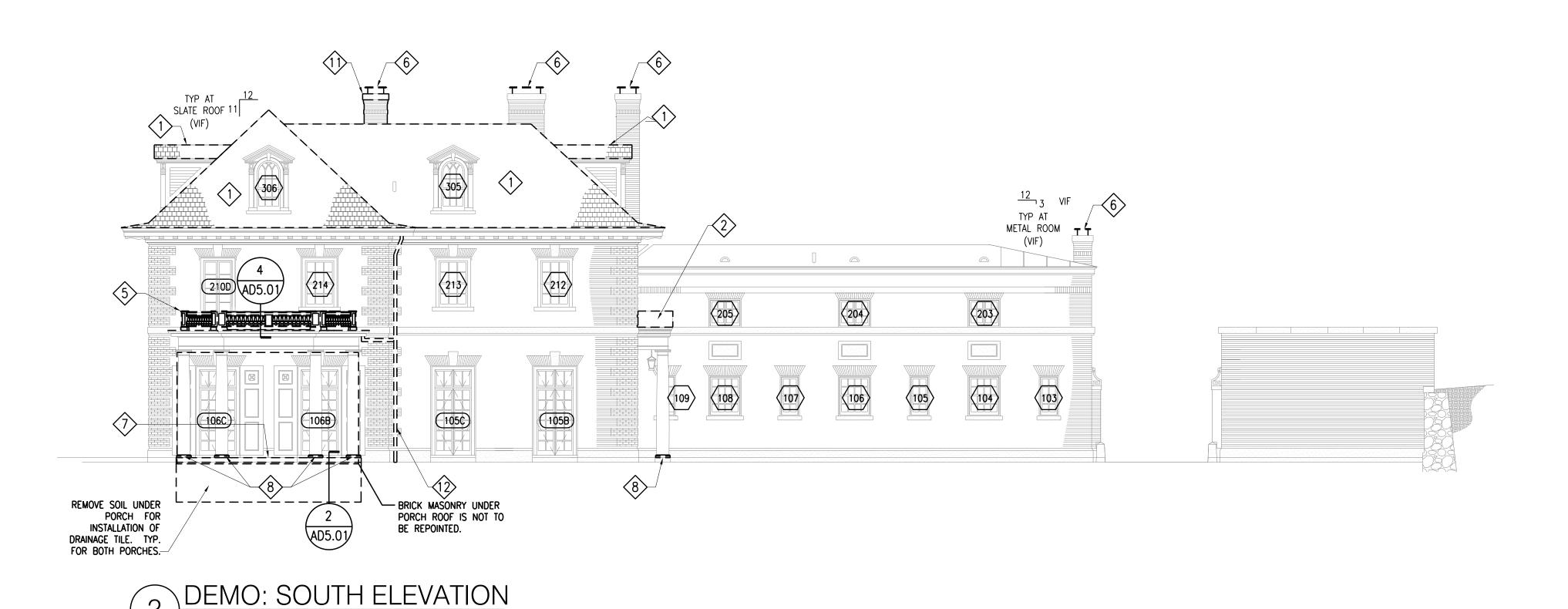
EXISTING MARBLE

EXISTING BRICK

SLATE ROOF

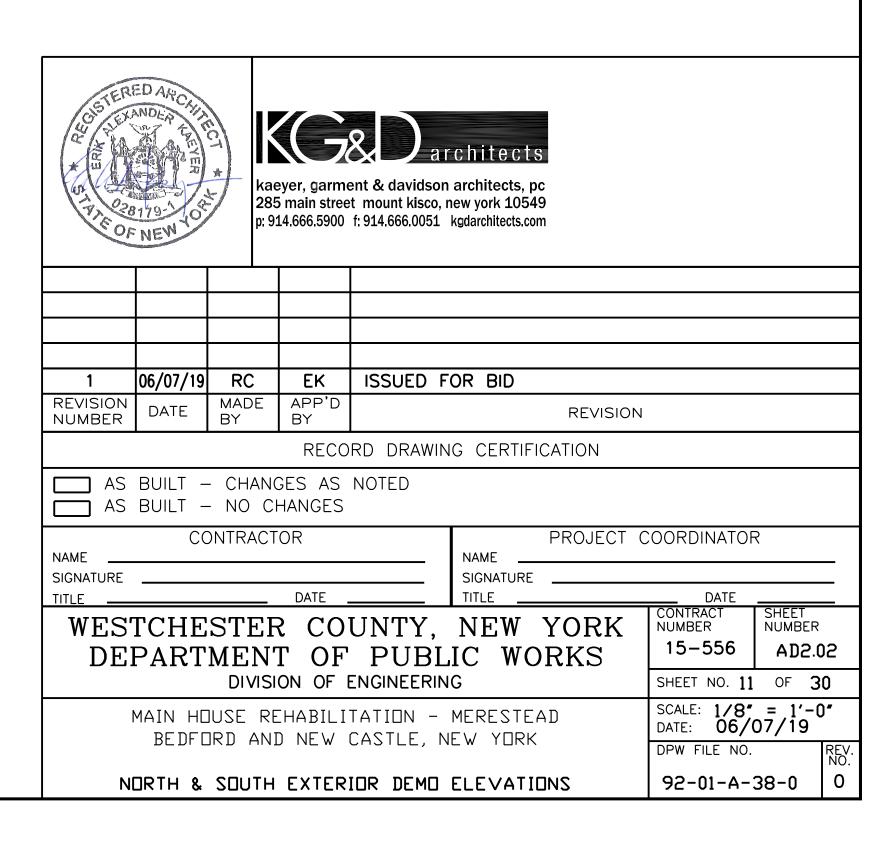
DEMO KEYNOTE





WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE
JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS
SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL
BEFORE PROCEEDING WITH FABRICATION.
LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS
DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL
SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.

IN CHARGE OF ______
CHECKED BY _____



LEGEND:

DEMO KEYNOTES:

DECKING.

REMOVAL.

PHOTO 11/AD5.01.

EXISTING ELEMENTS TO REMAIN.

GENERAL NOTES:

1. REFER TO SHEET GO.01 FOR GENERAL DEMO NOTES.

ASSUME ACM IN ROOFING MATERIALS. REFER TO SPECIFICATION SECTION 028334.

CAREFULLY REMOVE & SALVAGE NON-CUT SLATE TILES IN GOOD CONDITION (NO CRACKS, CHIPS, SURFACE EROSION). ASSUME APPROXIMATELY 75% CAN BE SALVAGED. REMOVE ALL CUT SLATE TILES, FLASHING, AND COPPER GUTTER

CAREFULLY DOCUMENT FOR LATER RECREATION & REMOVE COPPER ROOF & FLASHING. REMOVE ALL DAMAGED ROOF

ALTERNATE 1: DOCUMENT, CAREFULLY REMOVE, & SALVAGE PARAPET WALL DOWN TO ROOF LEVEL. CAREFULLY

REMOVE EXIST. QUARRY TILES AND SETTING BED MORTAR. SALVAGE 24 ORIGINAL TILES FOR USE IN REPLICATING ORIGINAL TILES. TEMPORARILY SHORE EXISTING PORCH ROOF AND DISENGAGE COLUMNS FROM MARBLE PERIMETER

PAVING. DOCUMENT EXACT LOCATION, SIZE, & CONFIGURATION OF MARBLE PATIO BORDER SO IT CAN BE

REINSTALLED AT A LATER DATE. REMOVE & SALVAGE PERIMETER MARBLE FOR LATER REINSTALLATION. SUBMIT

PROVIDE SHORING FOR PORCH ROOF & DISENGAGE COLUMNS SO DAMAGE CONCRETE CAN BE REMOVED. DOCUMENT

CAREFULLY DOCUMENT EXACT LOCATION, SIZE, AND CONFIGURATION OF METAL RAILINGS, BLUESTONE PAVERS, BRICK

SLAB. REMOVE DRAIN & ASSOCIATED PIPING. SUBMIT DOCUMENTATION FOR REVIEW AND APPROVAL PRIOR TO

WALLS, AND CONCRETE STEPS AND SLAB. REMOVE & SALVAGE BRICK AT SIDEWALLS. REMOVE CONCRETE STAIRS &

DOCUMENT EXACT SIZE AND CONFIGURATION. CAREFULLY DISASSEMBLE CHIMNEY DOWN TO ROOF DECK. SALVAGE ALL

REMOVE EXIST. DOWNSPOUTS. SALVAGE CAST-IRON DOWNSPOUT RECEIVERS FOR LATER REINSTALLATION. REFER TO

CAREFULLY DOCUMENT EXACT LOCATION, SIZE, AND CONFIGURATION OF WOOD/GLASS PATIO WALL. REMOVE & SALVAGE FOR LATER REINSTALLATION. SUBMIT DOCUMENTATION FOR REVIEW AND APPROVAL PRIOR TO REMOVAL.

BRICK, MARBLE CHIMNEY CAP, AND FLUE TILES FOR LATER REINSTALLATION. CAREFULLY REMOVE MORTAR FROM

LOCATION AND CAREFULLY REMOVE WOOD BALUSTRADE FOR LATER REINSTALLATION. CUT-OUT AND REMOVE DAMAGED

LINERS. REMOVE DAMAGED GUTTER LINER SUBSTRATE/DECKING. REMOVE ALL DAMAGED ROOF DECKING.

REMOVE ALL MORTAR FROM SALVAGED BRICK AND MARBLE COPING UNITS FOR LATER CONSTRUCTION.

4. REFER TO SPECIFICATION SECTION 312112 FOR ENVIRONMENTAL MANAGEMENT.5. REFER TO CONSTRUCTION HEALTH AND SAFETY PALN PREPARED BY AKRF.

REMOVE/PARTIALLY SALVAGE WOOD BALUSTRADE. REFER TO 2/AD4.01.

DOCUMENTATION FOR REVIEW AND APPROVAL PRIOR TO REMOVAL.

CONCRETE. SUBMIT DOCUMENTATION FOR REVIEW AND APPROVAL PRIOR TO REMOVAL.

REMOVE WOOD DOORS & FRAMING AS REQUIRED TO INSTALL NEW LOUVER.

BRICK AND MARBLE. SUBMIT DOCUMENTATION FOR REVIEW AND APPROVAL PRIOR TO REMOVAL.

ASSUME LEAD PAINT. REFER TO SPECIFICATION SECTION 028213.

ALTERNATE 1: REMOVE GARAGE ROOF & DECKING.

REMOVE METAL CHIMNEY CAPS & BIRD SCREEN.

REMOVE OCTAGONAL WOOD COLUMN BASES.

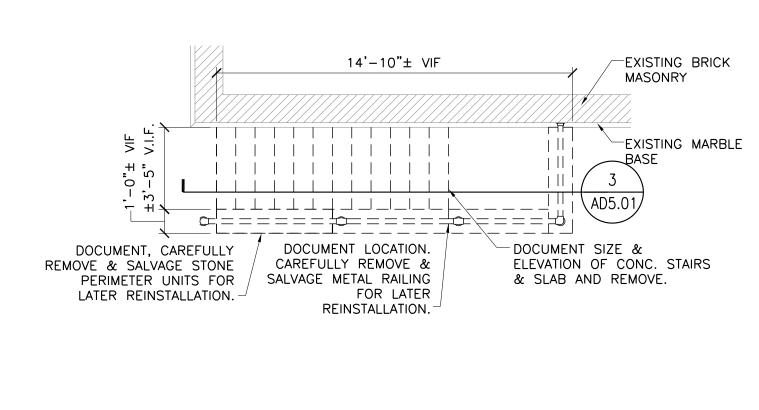
=== ELEMENTS TO BE REMOVED

EXISTING MARBLE

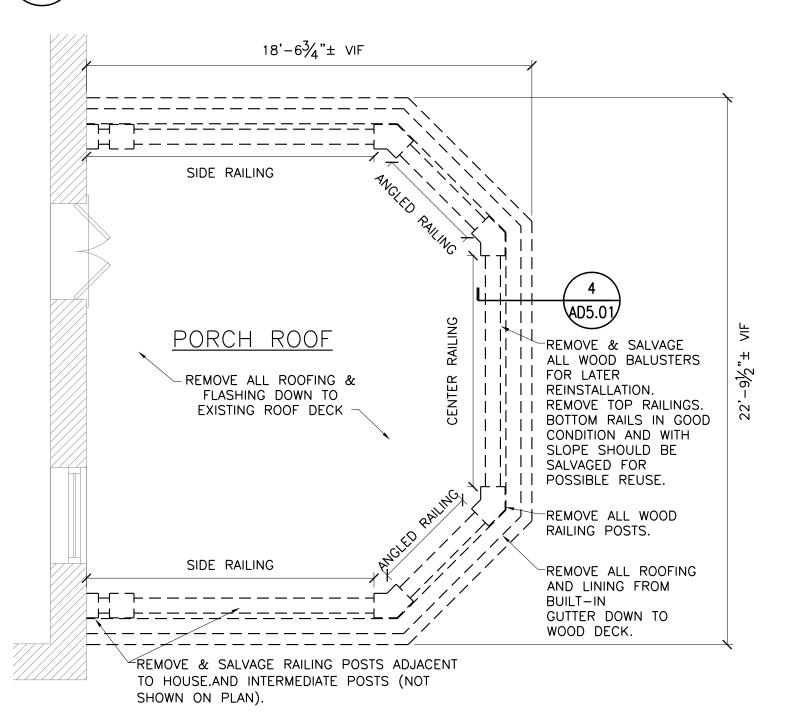
EXISTING BRICK

SLATE ROOF

DEMO KEYNOTE



BASEMENT STAIR -- DETAIL DEMO PLAN SCALE: 1/4"=1'-0"



TYPICAL PORCH ROOF DEMOLITION PLAN

2. THE INTENT IS TO SALVAGE AND REUSE AS MUCH OF THE WOOD BALUSTRADES AS

ACCURATE REINSTALLATION. THIS INCLUDES ALL TRIM ELEMENTS THAT WILL NEED TO

1. COMPLETELY DOCUMENT PORCH ROOF BALUSTRADES PRIOR TO REMOVAL FOR

kaeyer, garment & davidson architects, pc 285 main street mount kisco, new york 10549 p: 914.666.5900 f: 914.666.0051 kgdarchitects.com

BE REPLICATED.

POSSIBLE.

SCALE: 1/4"=1'-0"

1	06/07/19	RC	EK	ISSUED FOR BID			
REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION			
RECORD DRAWING CERTIFICATION							

AS BUILT — CHANGES AS NOTED AS BUILT — NO CHANGES		
CONTRACTOR	NAME	PROJECT COORDINATOR
SIGNATURE	SIGNATURE	
TITLE DATE	TITI F	DATE

CONTRACT NUMBER WESTCHESTER COUNTY, NEW YORK 15-556 AD4.01 DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING SHEET NO. 12 OF 30

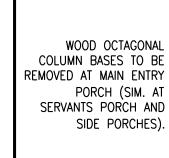
DETAIL DEMO PLANS

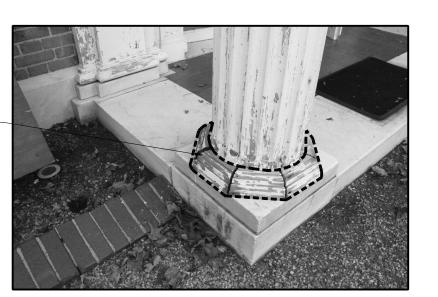
MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK

SCALE: AS SHOWN DATE: 06/07/19 DPW FILE NO. 92-01-A-39-0

SHEET NUMBER

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION. LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW. IN CHARGE OF _____ MADE BY _____





TYP. DEMO OF OCTAGONAL COL. BASE.



AREA OF DAMAGED CONCRETE TO BE

REMOVED.

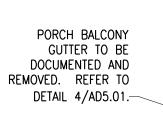


SERVANT'S PORCH DEMO WORK





SOUTH BALCONY DEMO (NORTH SIMILAR)



WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.

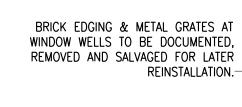
IN CHARGE OF

CHECKED BY

MADE BY



TYP. BALCONY GUTTER DEMO

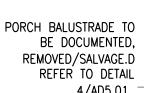


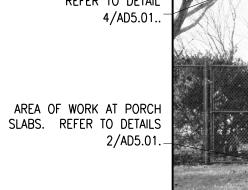


SERVANT'S WING -- NORTH ELEV. WINDOW WELLS

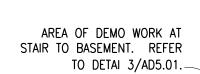


SERVANT'S WING -- SOUTH ELEV. WINDOW WELLS



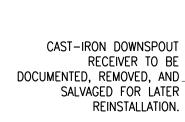


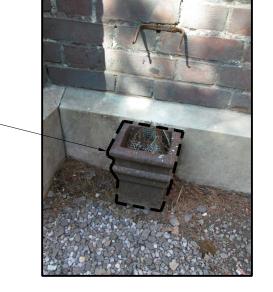
TYP. PORCH DEMO WORK





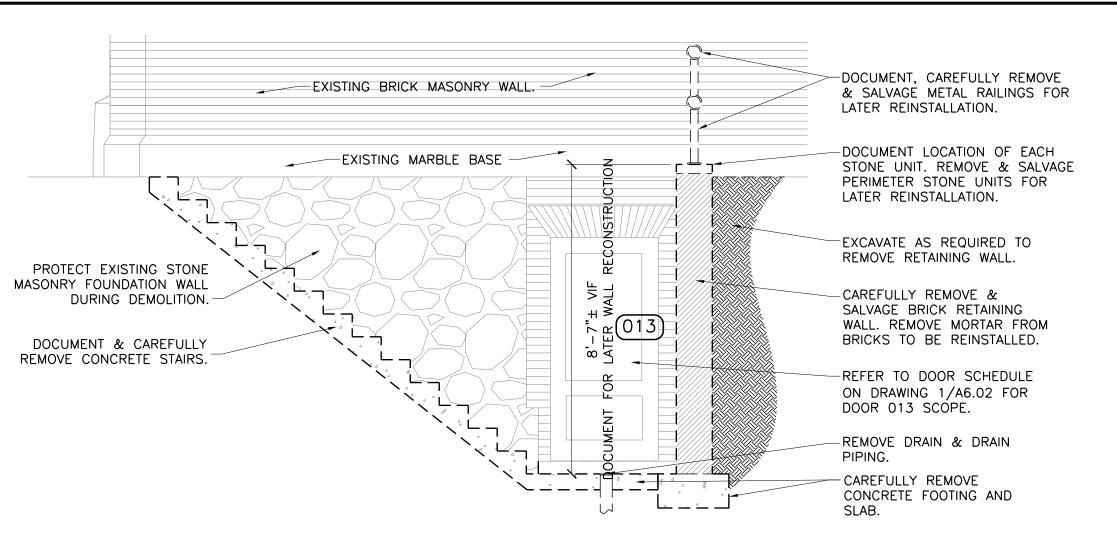
BASEMENT STAIR DEMO WORK



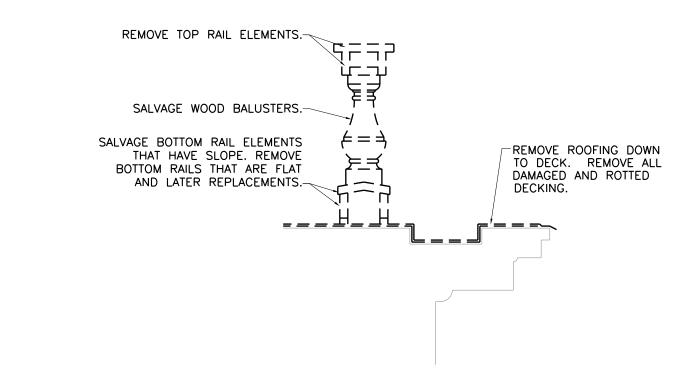


CAST IRON GUTTER RECEIVER

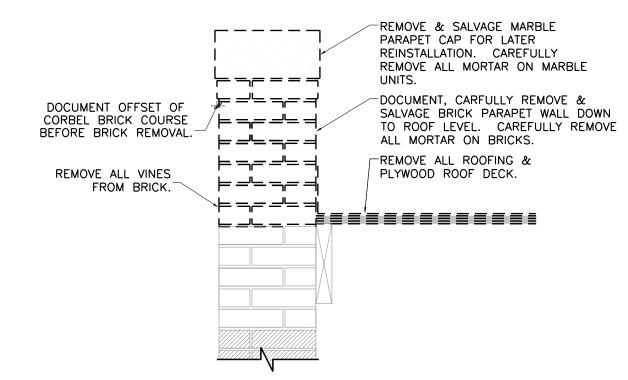




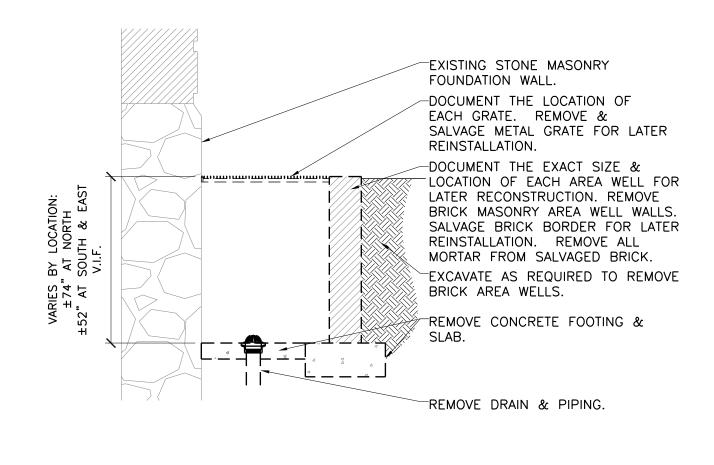
DEMO SECTION PLAN OF BASEMENT STAIR



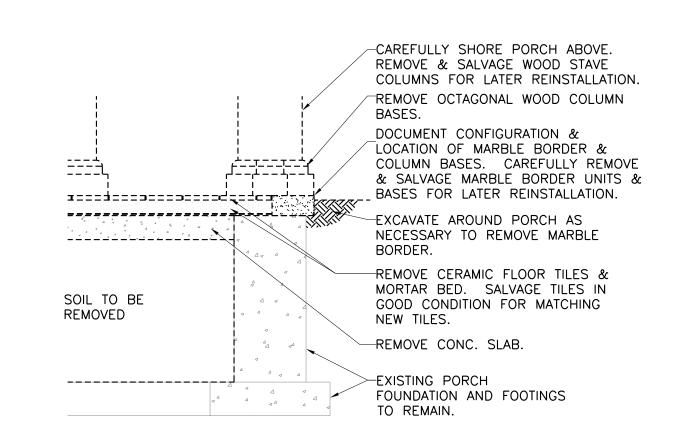
DEMO SECTION THROUGH BALCONY



ALT. 1: DEMO SECTION-GARAGE ROOF



DEMO SECTION THROUGH WINDOW WELL SCALE: 3/4"=1'-0"



DEMO SECTION THROUGH PORCH SCALE: 3/4"=1'-0"



1	06/07/19	RC	EK	ISSUED FOR BID			
REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION			
RECORD DRAWING CERTIFICATION							

BY		1/2/15/01/	
RECORE	DRAWING	CERTIFICATION	

AS BUILT — CHANGES AS NOTED AS BUILT — NO CHANGES				
CONTRACTOR	PROJECT COORDINATOR			
SIGNATURE DATE	SIGNATURE DATE			
WESTCHESTER COLINTY	NEW YORK CONTRACT SHEET NUMBER			

	DATE			DATE		
WESTCHESTER	COUNTY,	NEW	YORK	CONTRACT NUMBER	SHEET NUMBER	
DEPARTMENT	OF PUBL	IC Wo	ORKS	15-556	AD5.01	
DIVISION	N OF ENGINEERIN	G		SHEET NO. 13	OF 30	

MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK

DATE: 06/07/19 DPW FILE NO. 92-01-A-40-0

SCALE: AS SHOWN

DEMO DETAILS





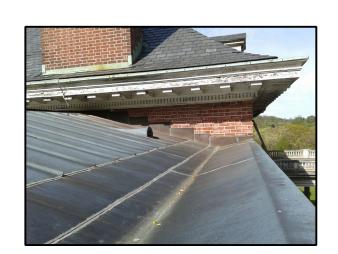
ENTRY ROOF



MAIN ROOF CURB



ROOF ACCESS \ DOOR CURB



SERVANT'S WING

*PHOTOS PROVIDED FOR REFERENCE ONLY. WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION. LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.

IN CHARGE OF CHECKED BY MADE BY _____



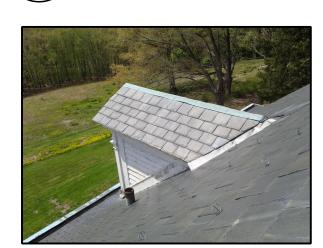
MAIN ROOF



MAIN ROOF **CHIMNEY**



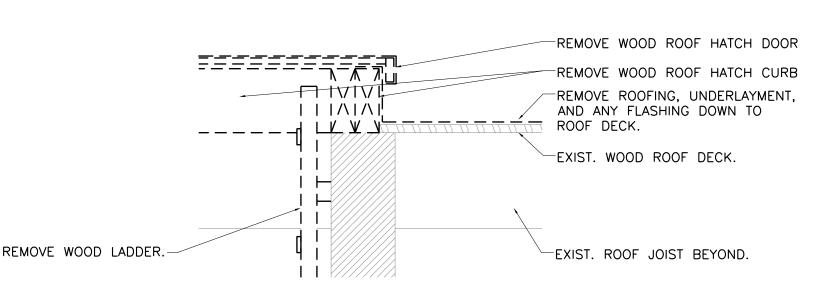
MAIN ROOF CORNER



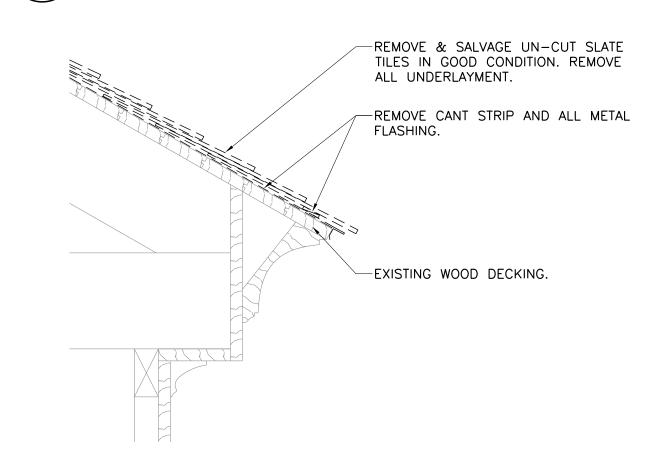
MAIN ROOF CORNER



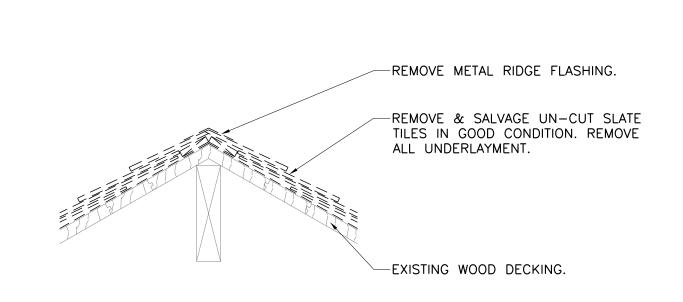
SERVANT'S WING ROOF CHIMNEY



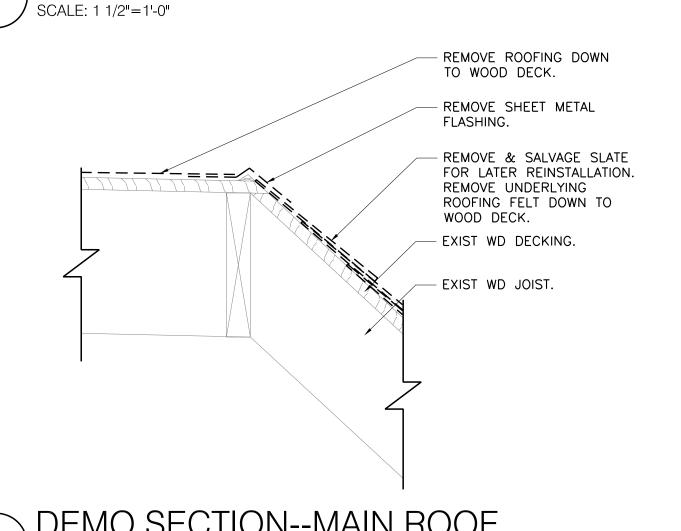
PARTIAL DEMO SECT.-- ROOF ACCESS DR SCALE: 1 1/2"=1'-0"



DEMO SECTION-- DORMER ROOF EDGE



DEMO SECTION-- DORMER ROOF RIDGE SCALE: 1 1/2"=1'-0"



DEMO SECTION--MAIN ROOF CHIMNEY

╾ ╾ ╾ ╾╼╼┤

====

===

F---

┢╄<u>╼╌</u>═ 누ーーー

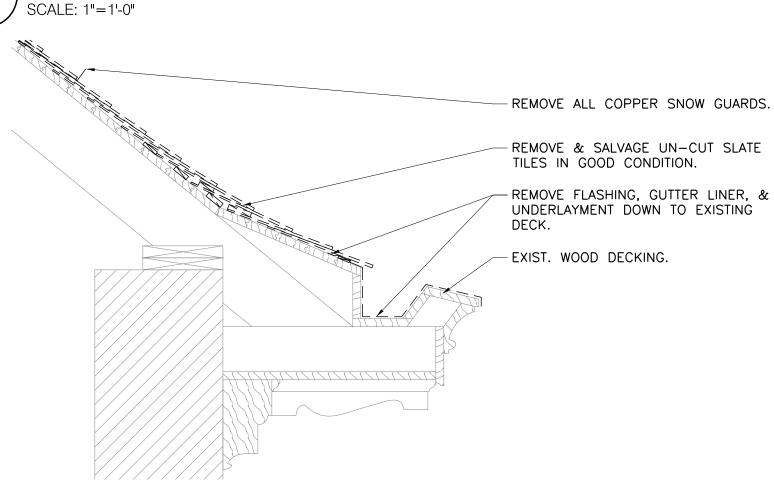
누===

==

 $\models = = =$

┝╼╼╡

╷╙═╶═╶═



- REMOVE CHIMNEY CAP & BIRDSCREEN

- REMOVE SHEET METAL CHIMNEY CAP

CAREFULLY REMOVE & SALVAGE

MORTAR FROM MARBLE.

MARBLE CHIMNEY CAP FOR LATER REINSTALLATION. CAREFULLY REMOVE

ROOF DECK. CAREFULLY REMOVE

- REMOVE ROOFING DOWN TO EXISTING

- EXISTING BRICK CHIMNEY BELOW ROOF

MORTAR FROM ALL BRICKS.

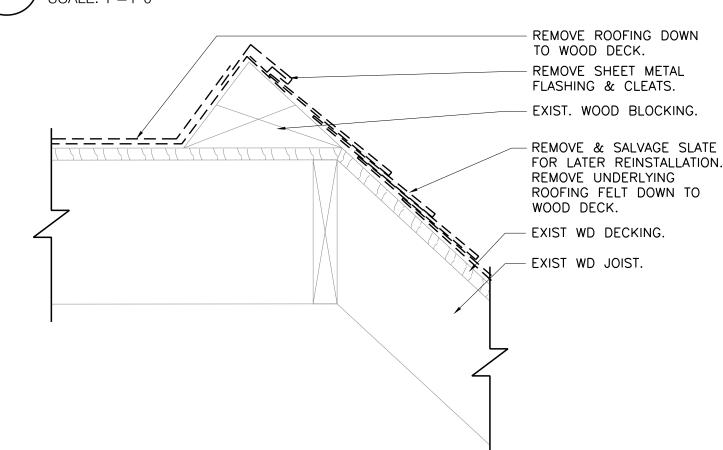
REMOVE METAL FLASHING.

- EXISTING WOOD ROOF DECK.

DECK TO REMAIN.

CAREFULLY REMOVE & SALVAGE BRICK CHIMNEY & FLUE LINING DOWN TO

DEMO SECTION--MAIN ROOF EDGE



DEMO SECTION--MAIN ROOF

DEMO SECTION--MAIN ROOF



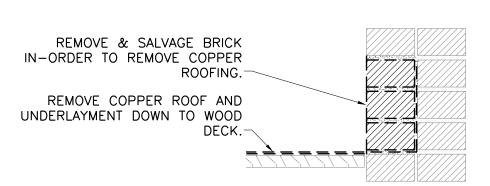
NOT USED

SCALE: 1"=1'-0"

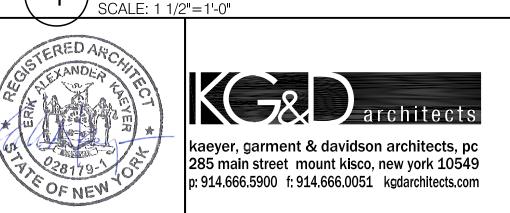
REMOVE FLAT SEAM COPPER ROOFING & ALL UNDERLAYMENT DOWN TO ROOF DECK .-

EXISTING ROOF DECK AND FASCIA

DEMO SECTION--ENTRY PORCH ROOF SCALE: 1 1/2"=1'-0"



DEMO SECTION--ENTRY PORCH ROOF



1	06/07/19	RC	EK	ISSUED FOR BID	
REVISION NUMBER	DATE	MADE BY	APP'D BY		REVISION
•					

RECORD DRAWING CERTIFICATION MAS RIJLT — CHANGES AS NOTED

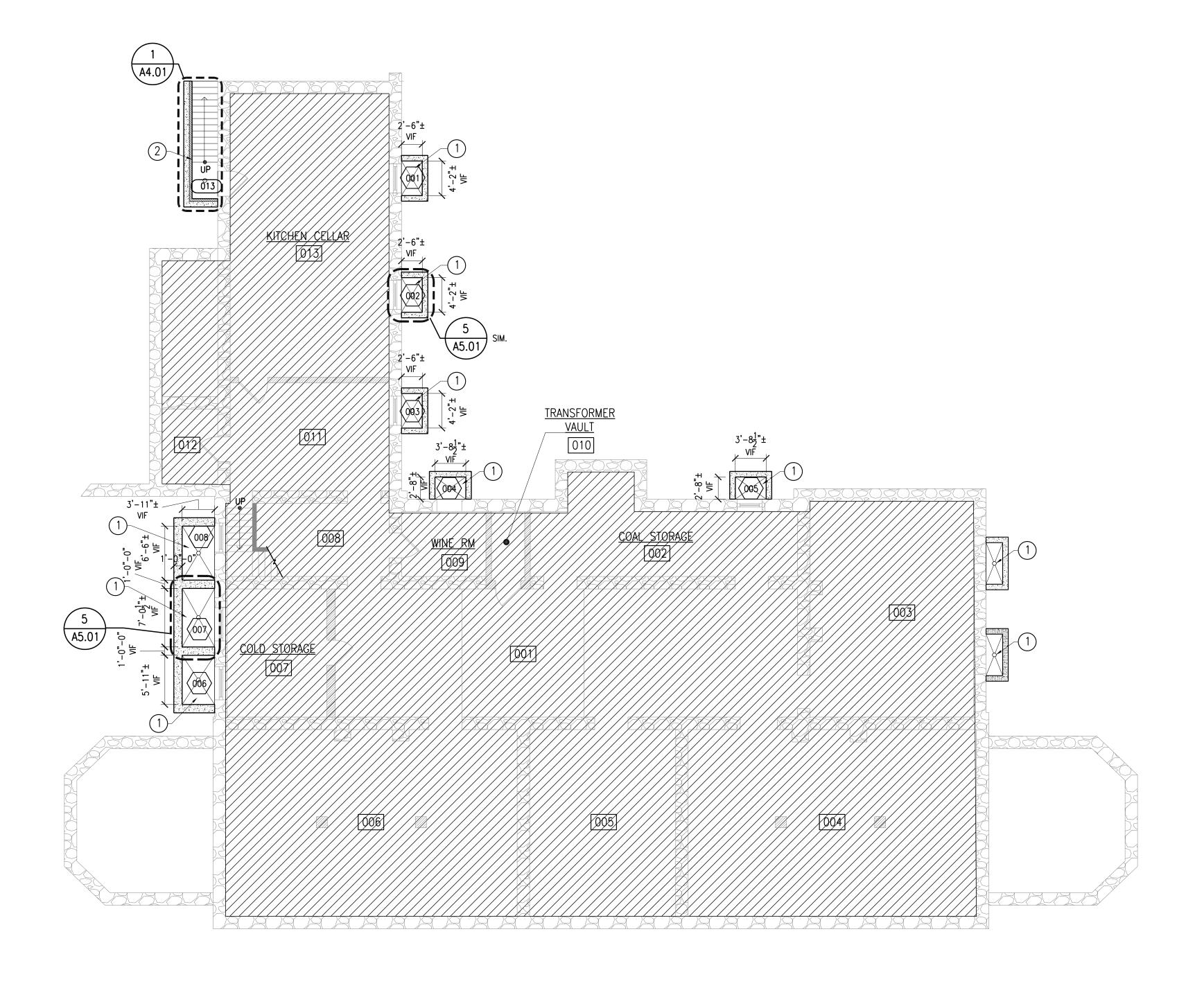
	NO CHANGES			
<u> </u>	NTRACTOR		PROJECT COORDINATOR	
NAME		NAME		
SIGNATURE		SIGNATU	JRE	
TITLE	DATE	TITLE	DATE	

SHEET NUMBER WESTCHESTER COUNTY, NEW YORK NUMBER

15-556 AD5.02 DEPARTMENT OF PUBLIC WORKS SHEET NO. 14 OF 30 DIVISION OF ENGINEERING SCALE: AS SHOWN MAIN HOUSE REHABILITATION - MERESTEAD DATE: 06/07/19

BEDFORD AND NEW CASTLE, NEW YORK DPW FILE NO. 92-01-A-41-0 DEMO DETAILS & REF. PHOTOS

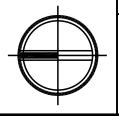
NOT USED SCALE: 1 1/2" = 1'-0"



BASEMENT PLAN

SCALE: 1/8"=1'-0"

SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.
LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.
IN CHARGE OF
CHECKED BY
MADE BY



LEGEND:

EXISTING ELEMENTS TO REMAIN.

NEW CONSTRUCTION

EXISTING BRICK MASONRY WALL

NEW BRICK MASONRY WALL

EXISTING STONE RUBBLE WALL

EXISTING STUD WALL

EXISTING QUARRY TILE

NOT IN CONTRACT -- NO INTERIOR SCOPE UNLESS INDICATED OTHERWISE ON DRAWINGS.

PRESERVATION KEYNOTE

PHOTO KEY

DOOR #. REFER TO DOOR SCHEDULE ON SHEET A6.02.

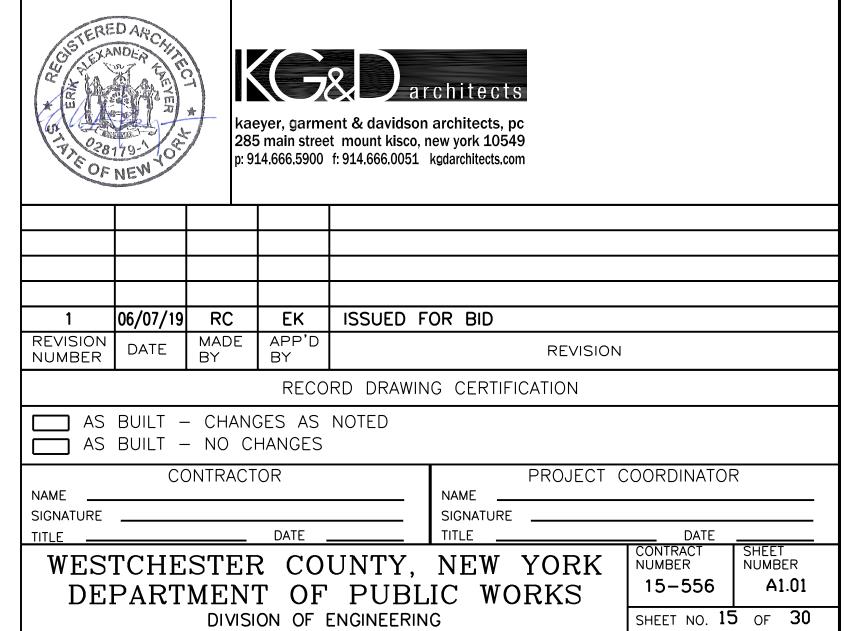
WINDOW #. REFER TO WINDOW SCHEDULE ON SHEET A6.01.

GENERAL NOTES:

REFER TO SHEET GO.01 FOR ALL GENERAL SCOPE NOTES.

PRESERVATION KEYNOTES (THIS SHEET ONLY):

- RECONSTRUCT AREA WELLS WITH REINFORCED CONCRETE WALLS AND SLAB WITH BRICK TOP COURSE IN EXACT LOCATION, SIZE, AND CONFIGURATION AS ORIGINAL WELLS. DIMENSIONS GIVEN ARE THOSE FOR THE INSIDE FACE OF THE EXISTING AREA WELL WALLS. PROVIDE DRAIN AT BOTTOM OF AREA WELLS. DRAINS TO CONNECT TO PERIMETER DRAINAGE SYSTEM.
- PROVIDE REINF. CONC. RETAINING WALLS W/ SALVAGED BRICK FACING. PROVIDE NEW CONCRETE STAIRS TO MATCH SIZE AND CONFIGURATION OF ORIGINAL. PROVIDE NEW DRAIN AT FLOOR SLAB. DRAINS TO CONNECT TO PERIMETER DRAINAGE SYSTEM.



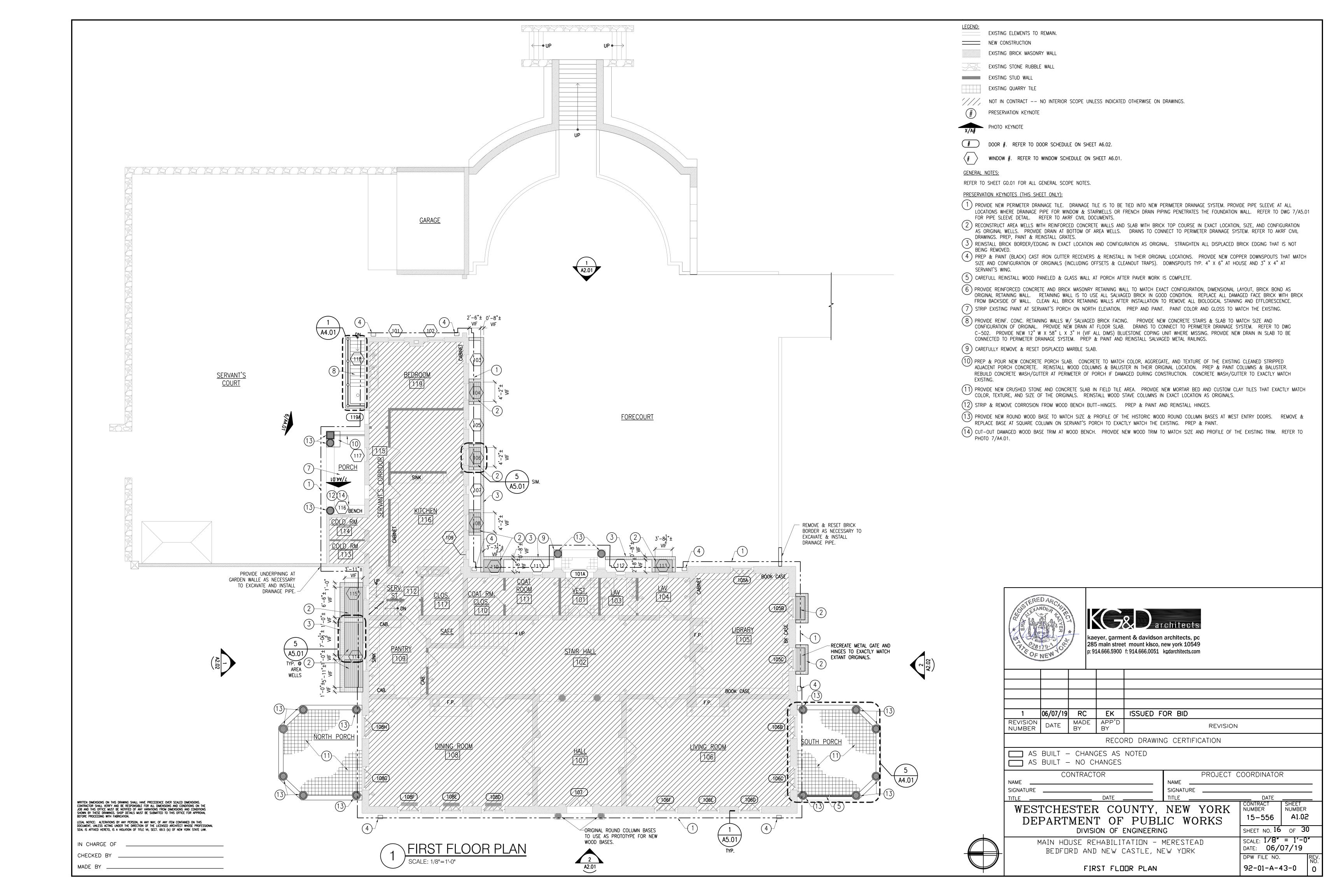
MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK

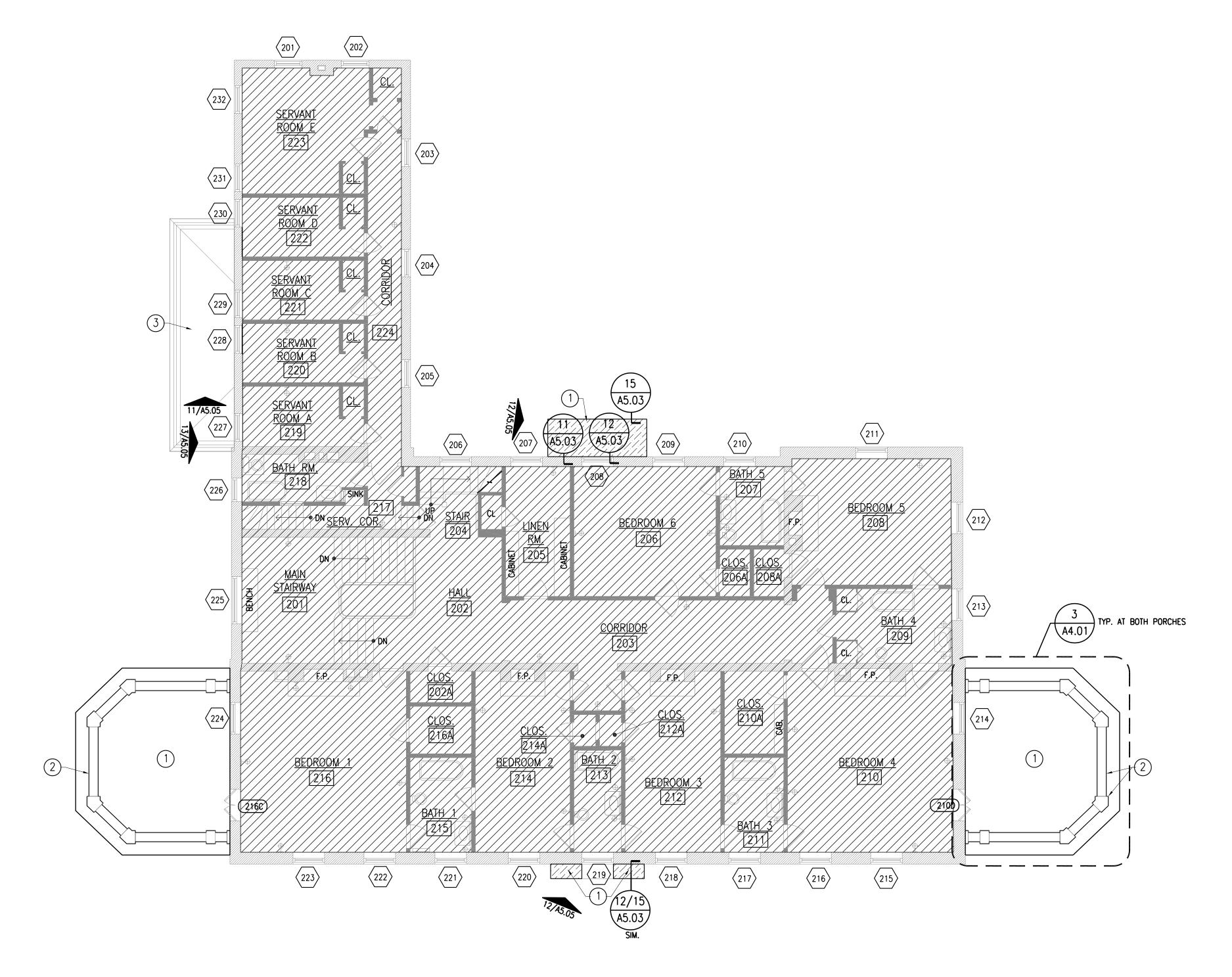
BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0" DATE: 06/07/19

92-01-A-42-0 0

DPW FILE NO.





SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION. LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.						
IN CHARGE OF						
CHECKED BY						
MADE BY						

O STATE OF O STATE OF	ED ARCAYA	kae 285	eyer, garmo 5 main stree	ent & davidson et mount kisco, f: 914.666.0051	new york 10549			
1	06/07/19	RC	EK	ISSUED F	OR BID			
REVISION NUMBER	DATE	MADE BY	APP'D BY		ſ	REVISION		
			RECO	RD DRAWIN	IG CERTIFICAT	ION		
	BUILT -	_		NOTED				
NAME SIGNATURE TITLE		ONTRACT	OR DATE		PR NAME SIGNATURE TITLE	ROJECT (COORDINATOR	₹
WES		MEN'	R CO T OF	•	NEW YORI		CONTRACT NUMBER 15-556 SHEET NO. 17	SHEET NUMBER A1.0
		IUSE RE	HABILI		MERESTEAD		SCALE: 1/8" DATE: 06/	07/19 ¹
				OOR PLAN			92-01-A-	

EXISTING ELEMENTS TO REMAIN.

EXISTING BRICK MASONRY WALL

EXISTING STONE RUBBLE WALL

DOOR #. REFER TO DOOR SCHEDULE ON SHEET A6.02.

WINDOW #. REFER TO WINDOW SCHEDULE ON SHEET A6.01.

1 REPLACE ALL DAMAGED AND ROTTED DECKING PROVIDE NEW FLAT SEAM COPPER ROOF.
2 REINSTALL SALVAGED/NEW WOOD BALUSTRADE. PREP & PAINT.

PRESERVATION KEYNOTE

REFER TO SHEET GO.01 FOR GENERAL SCOPE NOTES.

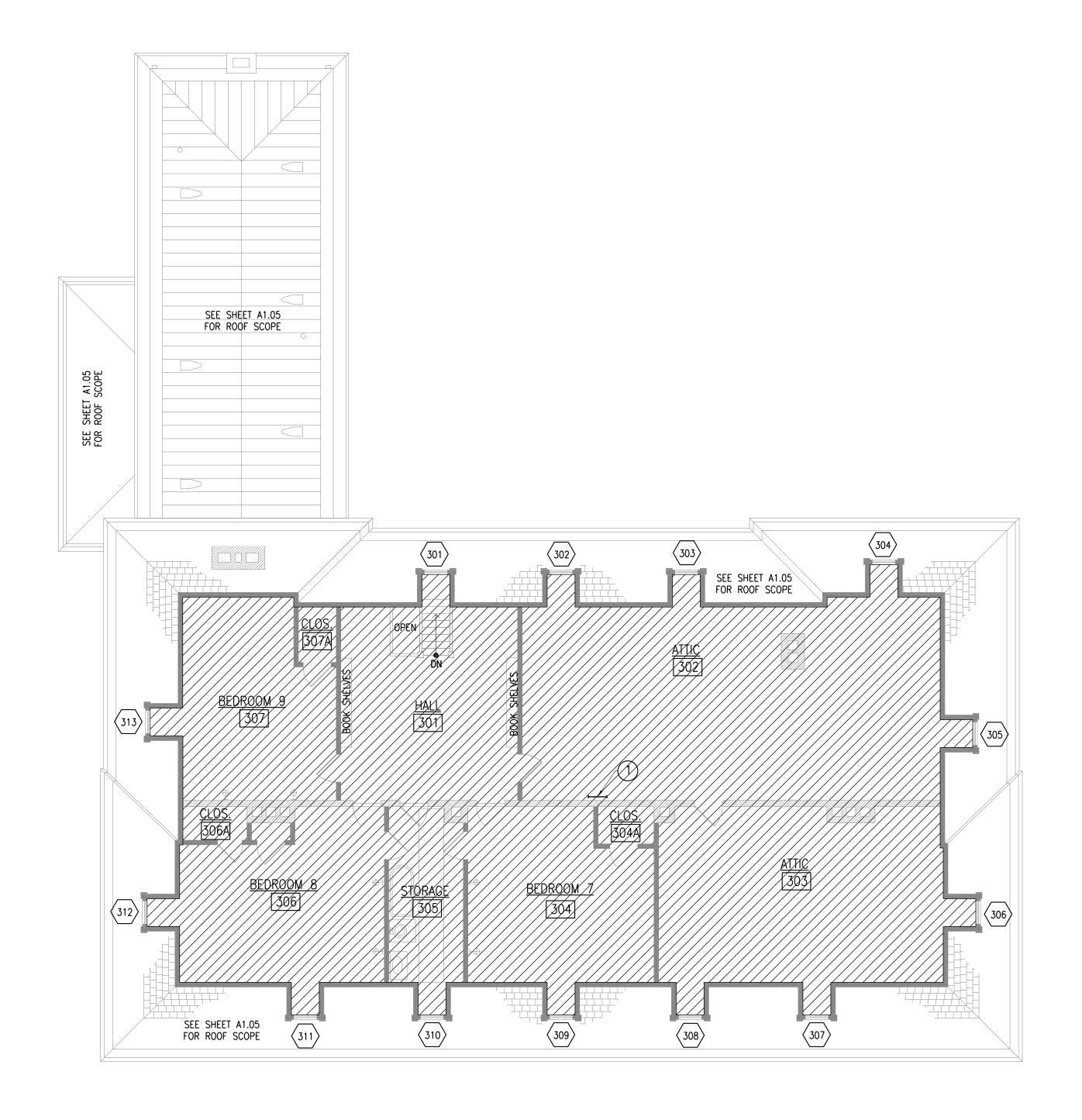
PRESERVATION KEYNOTES (THIS SHEET ONLY):

NOT IN CONTRACT -- NO INTERIOR SCOPE UNLESS INDICATED OTHERWISE ON DRAWINGS.

NEW CONSTRUCTION

EXISTING STUD WALL

GENERAL NOTES:



THIRD FLOOR PLAN SCALE: 1/8"=1'-0"

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION. LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS	
DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW. IN CHARGE OF	
CHECKED BY	
MADE BY	

	PERIOR PROPERTY AND SECOND	NOLA TYEYER 179-100 NEW	kae 285	5 main stree	ent & davidson t mount kisco, i	chitects architects, ponew york 10549 kgdarchitects.com	,)			
	1	06/07/19	RC	EK	ISSUED F	OR BID				
	REVISION NUMBER	DATE	MADE BY	APP'D BY			REVISION			
				RECO	RD DRAWIN	IG CERTIFIC	CATION			
		BUILT - BUILT -	_	GES AS HANGES	NOTED					
	NAME		ONTRACT	OR		NAME	PROJECT C	OORDINATOR	5	
	SIGNATURE TITLE			DATE _		SIGNATURE TITLE		DATE		<u> </u>
,		TCHE PART			•	NEW IC WO		CONTRACT NUMBER 15-556	SHEET NUMBER A1.04	
			DIVISI	ON OF E	ENGINEERIN	G		SHEET NO. 18		
	MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK SCALE: 1/8" = 1'-0" DATE: 06/07/19)"
		<i></i>			OR PLAN			DPW FILE NO. 92-01-A-4		REV NO O





EXISTING ELEMENTS TO REMAIN.

NOT IN CONTRACT -- NO INTERIOR SCOPE UNLESS INDICATED OTHERWISE ON DRAWINGS.

BRICK MASONRY WALL

PRESERVATION KEYNOTE

REFER TO SHEET GO.01 FOR GENERAL SCOPE NOTES.

1) PROVIDE NEW STEEL LADDER TO ROOF ACCESS DOOR.

PRESERVATION KEYNOTES (THIS SHEET ONLY):

DOOR #. REFER TO DOOR SCHEDULE ON SHEET A6.02.

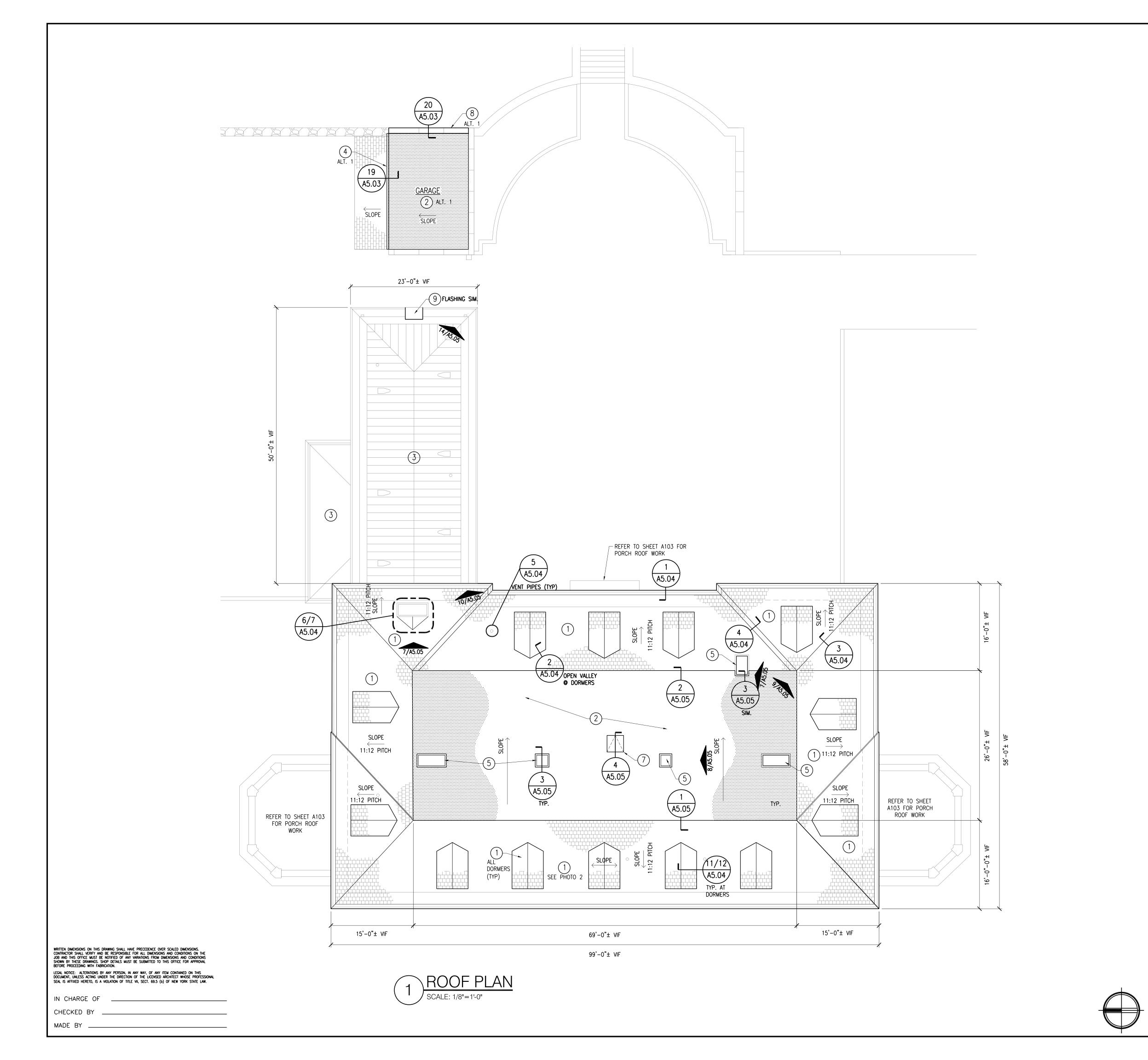
window #. Refer to window schedule on sheet A6.01.

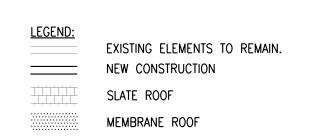
_____ NEW CONSTRUCTION

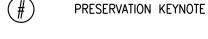
flat SEAM COPPER ROOF

STUD WALL

GENERAL NOTES:









GENERAL NOTES: REFER TO SHEET GO.01 FOR GENERAL SCOPE NOTES.

PRESERVATION KEYNOTES (THIS SHEET ONLY):

- 1) INSTALL NEW (ASSUME APPROXIMATELY 25%) & SALVAGED (ASSUME APPROXIMATELY 75%) SLATE INSTALL NEW COPPER FLASHING. REPLACE ALL DAMAGED, ROTTED AND MISSING GUTTERS, SUBSTRATE AND ROOF
- 2) INSTALL NEW MEMBRANE ROOFING. REPLACE ALL DAMAGED, ROTTED, & MISSING SUBSTRATE AND ROOF DECK. PROVIDE NEW ALUMINUM GUTTER & DOWNSPOUT TO MATCH THE EXISTING. (ALTERNATE 1: PROVIDE NEW MEMBRANE ROOF AT GARAGE).
- 3 PROVIDE AN ALLOWANCE FOR 25 LINEAL FEET OF SOLDER REPAIRS AT COPPER JOINTS AT BOTH THE SERVANT'S WING AND SERVANT'S WING PORCH ROOF.
- 4) <u>ALTERNATE 1:</u> PROVIDE NEW ALUM. GUTTER & DOWNSPOUT AT GARAGE.
- 5 DOCUMENT & CAREFULLY DISASSEMBLE BRICK CHIMNEY DOWN TO ROOF DECK, REBUILD CHIMNEY, USING SALVAGED BRICK, TO EXACTLY MATCH ORIGINAL CHIMNEY SIZE AND CONFIGURATION. PROVIDE COPPERY FLUE ENCLOSURE.
- 6 PROVIDE NEW STANDING SEAM COPPER ROOF. REPLACE ALL DAMAGED, ROTTED, AND MISSING GUTTERS,
- 7 PROVIDE NEW 36" X 36" ROOF ACCESS DOOR AND INSULATED CURB. RE-FRAME AROUND OPENING AS NECESSARY TO INSTALL ACCESS DOOR.
- 8 <u>ALTERNATE 1:</u> REPOINT MARBLE PARAPET COPING WITH SEALANT TO MATCH COLOR OF CLEANED MARBLE. CLEAN ALL MARBLE COPING UNITS.
- 9) PROVIDE COPPER CHIMNEY FLU ENCLOSURE.



WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS

DIVISION OF ENGINEERING MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK

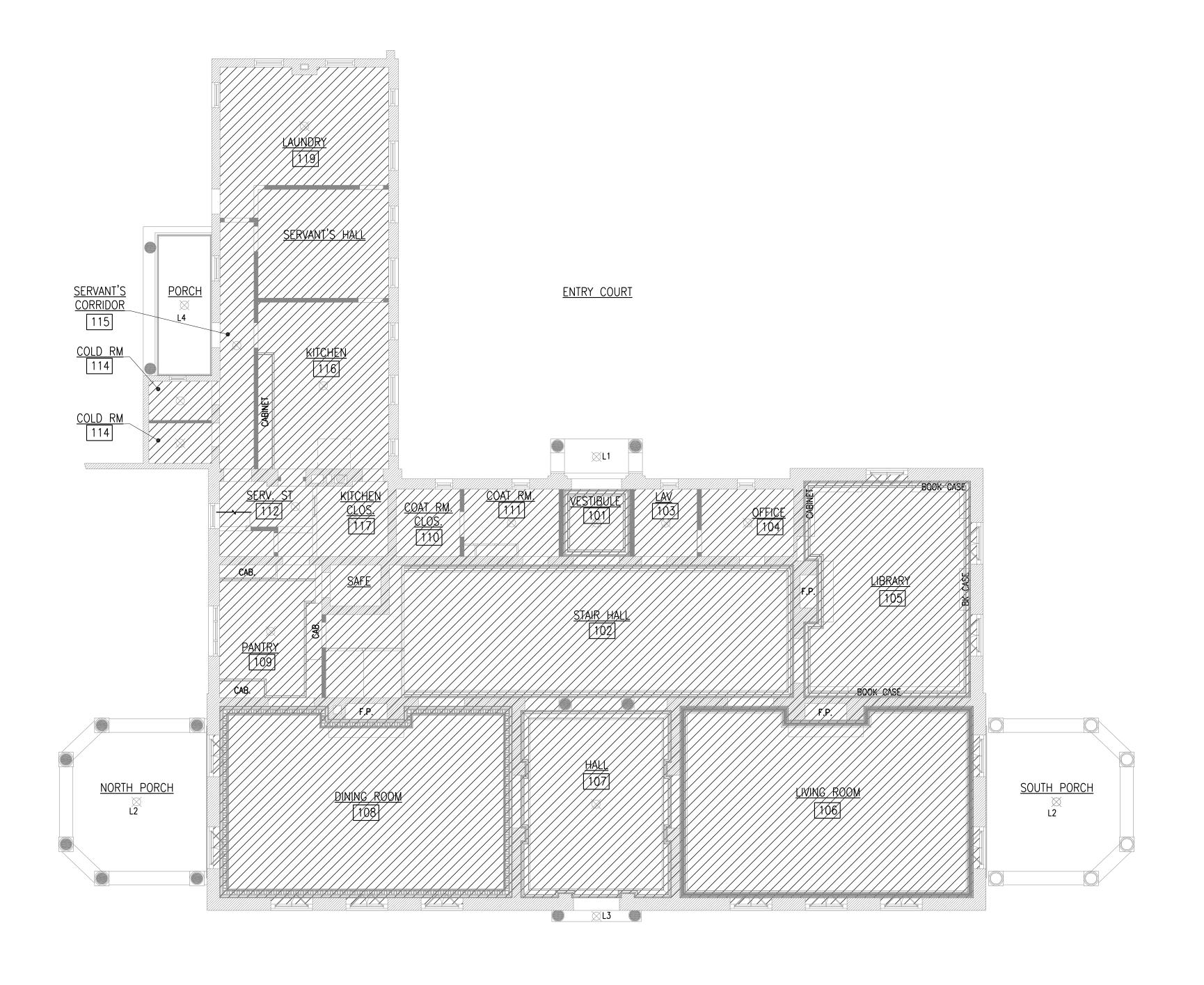
SHEET NO. 19 OF 30 SCALE: 1/8" = 1'-0" DATE: 06/07/19 DPW FILE NO.

NUMBER 15-556

ROOF PLAN

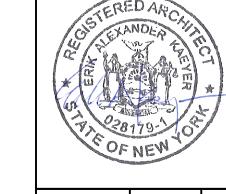
92-01-A-46-0

SHEET NUMBER



FIRST FLOOR RCP SCALE: 1/8"=1'-0" NOTE: RCP SHOWS LOCATION OF EXISTING EXTERIOR LIGHT FIXTURES.

RITEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. INTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE BAND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS IOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL FORE PROCEEDING WITH FABRICATION.
GAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS CUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.
N CHARGE OF
CHECKED BY



(Sa) architects

EXISTING ELEMENTS TO REMAIN.

EXISTING BRICK MASONRY WALL

EXISTING STONE RUBBLE WALL

NOT IN CONTRACT -- NO INTERIOR SCOPE UNLESS INDICATED OTHERWISE ON DRAWINGS.

⊢ L# EXISTING LIGHT FIXTURE AND TYPE. REFER TO SHEET A6.02 FOR LIGHT FIXTURE SCHEDULE & TYPES.

NEW CONSTRUCTION

EXISTING STUD WALL

kaeyer, garment & davidson architects, pc 285 main street mount kisco, new york 10549 p: 914.666.5900 f: 914.666.0051 kgdarchitects.com

1	06/07/19	RC	EK	ISSUED FOR BID					
REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION					
_									

RECORD DRAWING CERTIFICATION

AS BUILT — CHANGES AS NOTED

AS BUILT — NO CHANGES

NAME	CONTRACTOR	PROJECT COORDINATOR				
CIONATURE		SIGNATURE				
TITLE	DATE	TITLE		DATE		
WEST	CHESTER COUNTY,	NEW	YORK	CONTRACT NUMBER	SHEET NUMBER	

WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS

MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK

FIRST FLOOR RCP

DPW FILE NO. 92-01-A-47-0 0

SHEET NO. 20 OF 30

SCALE: 1/8" = 1'-0" DATE: 06/07/19

15-556

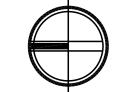




PHOTO OF WOOD SOFFIT DAMAGE

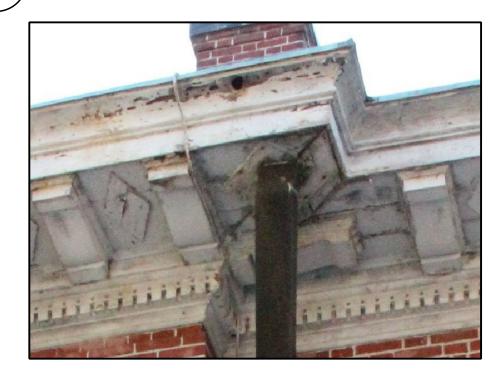
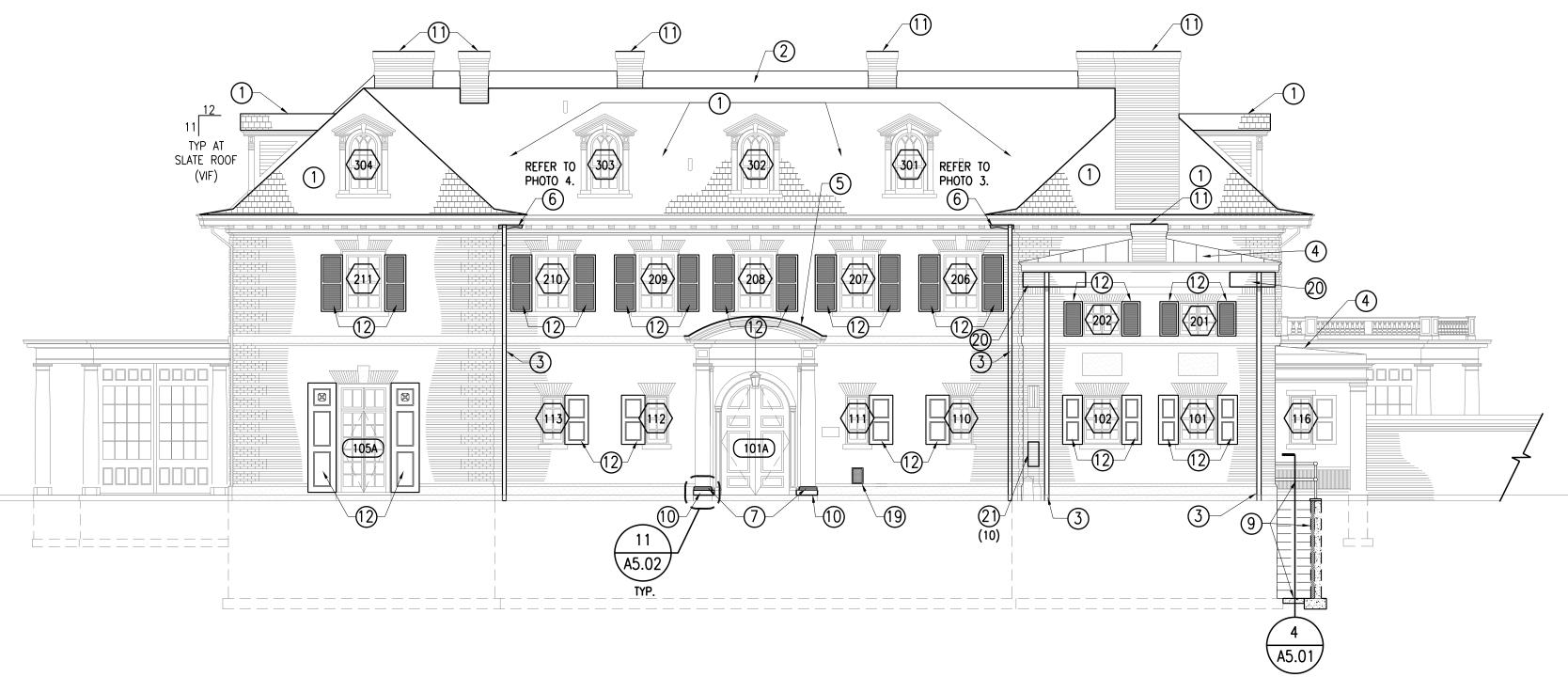


PHOTO OF WOOD SOFFIT DAMAGE

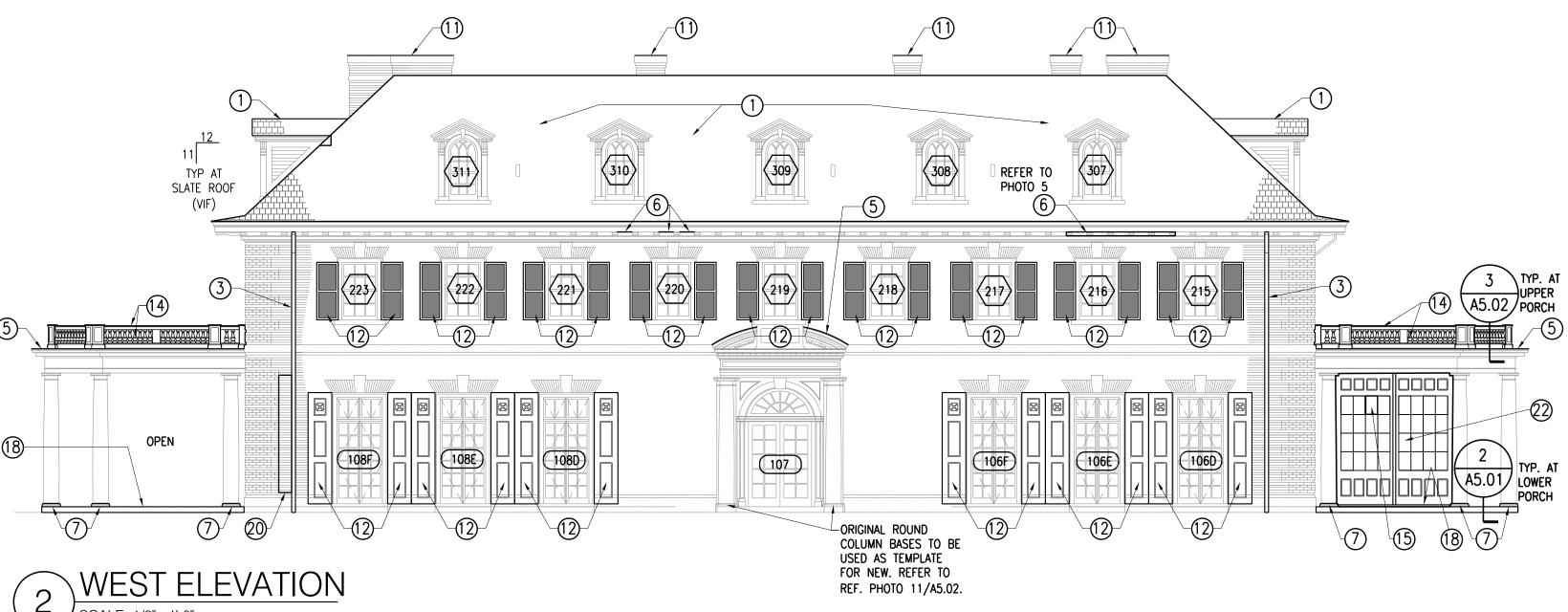


PHOTO OF WOOD SOFFIT DAMAGE

PHOTOS ARE FOR REFERENCE ONLY.



EAST ELEVATION



NOT USED

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE
JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS
SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL
BEFORE PROCEEDING WITH FABRICATION.
LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS
DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL
SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.

IN CHARGE OF CHECKED BY _____ MADE BY _____

WEST GARAGE ELEVATION SCALE: 3/8"=1'-0"

LEGEND: # DOOR #. REFER TO DOOR SCHEDULE ON SHEET A6.02. EXISTING ELEMENTS TO REMAIN. NEW CONSTRUCTION WINDOW #. REFER TO WINDOW SCHEDULE ON SHEET A6.01. EXISTING MARBLE EXISTING BRICK SLATE ROOF PRESERVATION KEYNOTE . REFER TO SHEET GO.01 FOR GENERAL EXTERIOR SCOPE OF WORK NOTES. 2. ASSUME APPROXIMATELY 10% OF WOOD SOFFIT ELEMENTS (BEYOND WHAT IS SHOWN) WILL BE REPLACED IN-KIND). PHOTOS OR EXISTING SOFFIT SHOW TYPICAL DAMAGE IN-ORDER FOR THE CONTRACTOR TO BETTER UNDERSTAND THE EXTENT OF REPAIRS AND 3. INSERT BORATE RODS INTO LOWER 2' OF ALL WOOD STAVE COLUMNS AND BASES. PROVIDE WOOD PLUG OVER ALL HOLES. PLUGS TO BE FLUSH WITH ADJACENT SURFACE SO INVISIBLE WHEN PAINTED. SIZE OR RODS & SPACING ARE TO BE PER MANUFACTURER'S SPECIFICATIONS. PRESERVATION KEYNOTES: 1 INSTALL NEW (ASSUME APPROXIMATELY 25%) & SALVAGED (ASSUME APPROXIMATELY 75%) SLATE. INSTALL NEW COPPER FLASHING. REPLACE ALL DAMAGED, ROTTED AND MISSING GUTTERS, SUBSTRATE AND ROOF DECK. 2 INSTALL NEW MEMBRANE ROOFING. REPLACE ALL DAMAGED, ROTTED, AND MISSING SUBSTRATE AND ROOF DECK. PROVIDE NEW GUTTER & DOWNSPOUTS TO MATCH EXISTING. ALTERNATE 1: PROVIDE MEMBRANE ROOF AT GARAGE. (3) PROVIDE NEW COPPER GUTTER LINER AND DOWNSPOUTS THAT MATCH SIZE & PROFILE OF THE EXISTING. REPLICATE ALL EXISTING DOWNSPOUT OFFSETS & CLEANOUTS. PROVIDE NEW DOWNSPOUT HANGERS THAT MATCH ARCHITECT'S SAMPLE (SEE 15/A5.05). TYP. DOWNSPOUT AT HOUSE ARE 4" X 6" AND 3" X 4" AT SERVANT'S WING. REPLACE ALL DAMAGED, ROTTED, AND MISSING GUTTERS, SUBSTRATE AND ROOF DECK. CONNECT DOWNSPOUTS TO NEW PERIMETER UNDERGROUND DRAINAGE SYSTEM. REFER TO AKRF CIVIL DRAWINGS. PROVIDE AN ALLOWANCE FOR 25 LINEAL FEET OF SOLDER REPAIRS AT COPPER JOINTS AT BOTH THE SERVANT'S WING AND SERVANT'S WING PORCH ROOF. (5) PROVIDE FLAT SEAM COPPER ROOF TO MATCH EXISTING. INSPECT AND REPLACE ALL DAMAGED ROOF DECK. 6 PROVIDE NEW WOOD SOFFIT ELEMENTS AT AREAS OF WOOD ROT OR WHERE ELEMENTS ARE MISSING. PREP & PAINT. ASSUME APPROXIMATELY 10% OF THE ELEMENTS ON THE ENTIRE SOFFIT (BEYOND WHAT IS SHOWN) WILL BE REPLACED. NEW WOOD SOFFIT ELEMENTS ARE TO EXACTLY MATCH SIZE & PROFILE OF THE EXISTING. REPLACE ALL DAMAGED, ROTTED, AND MISSING DECKING & 7 PROVIDE ROUND WOOD COLUMN BASES TO MATCH SIZE & PROFILE OF EXTANT ORIGINALS AT WEST ENTRY DOORS (D107). PREP & (8) PROVIDE SQUARE WOOD COLUMN BASES TO MATCH SIZE & PROFILE OF EXISTING. PREP & PAINT. (9) PROVIDE REINF. CONC. RETAINING WALLS W/ SALVAGED BRICK FACING. PROVIDE NEW CONCRETE STAIRS & SLAB TO MATCH SIZE AND CONFIGURATION OF ORIGINAL. PITCH SLAB & PROVIDE NEW DRAIN TO BE CONNECTED TO PERIMETER DRAINAGE SYSTEM. PROVIDE NEW 12"W X 58"L X 3"H (VIF) BLUESTONE COPING UNIT WHERE MISSING TO MATCH COLOR OF EXTANT ORIGINALS. REINSTALL METAL RAILINGS SO TRUE & PLUMB. PREP & PAINT RAILINGS. 10 LIFT & RESET DISPLACED MARBLE UNITS. (1) PROVIDE COPPER CHIMNEY FLUE ENCLOSURE. REFER TO DETAIL 3/A5.05. RESTORE & REINSTALL WOOD SHUTTERS. WOOD SHUTTERS ARE CURRENTLY ON HOUSE OR KEPT IN THE HOUSE BASEMENT & CARRIAGE HOUSE. PREP & PAINT. REFER TO DOOR & WINDOWS SCHEDULES ON SHEETS A6.01-6.02 FOR SPECIFIC SCOPE. 13) NOT USED. (14) REINSTALL NEW/SALVAGED PORCH BALUSTRADES IN EXACT LOCATION & CONFIGURATION AS EXISTING BALUSTRADE. PREP & PAINT. 15) PROVIDE NEW PANE OF GLASS. GLASS IS TO MATCH SIZE, COLOR, TEXTURE, & APPEARANCE OF THE EXISTING. 16) NOT USED. REMOVE AND SALVAGE WOOD COLUMNS & BALUSTER. PROVIDE TEMPORARY SHORING FOR PORCH ROOF AS NECESSARY TO REPAIR CONCRETE. REMOVE BROKEN CONCRETE PORCH SLAB. PREP & POUR NEW CONCRETE PORCH SLAB TO MATCH SIZE & CONFIGURATION OF THE EXISTING. REINSTALL WOOD COLUMNS & BALUSTER IN THEIR ORIGINAL LOCATIONS. PREP & PAINT. (18) PROIVDE NEW CRUSHED STONE & CONC. SLAB IN FIELD TILE AREA. PROVIDE NEW MORTAR BED AND CUSTOM CLAY TILES THAT EXACTLY MATCH COLOR, TEXTURE, AND SIZE OF THE ORIGINALS. REINSTALL MARBLE PERIMETER SLAB & WOOD STAVE COLUMNS. PREP & PAINT WOOD COLUMNS. (19) REATTACH LOOSE GRILLE. (20) CAREFULLY DISASSEMBLE AND REBUILD AREA OF BRICK MASONRY (2) CAREFULLY CUT-OUT DAMAGED BRICK & REPLACE WITH SALVAGED BRICK THAT EXACTLY MATCHES SIZE, TEXTURE, & COLOR OF ORIGINALS. APPROX. QUANTITY OF BRICK INDICATED IN (). CAREFULL REINSTALL WOOD PANEL & GLASS WALL AT PORCH AFTER PAVER WORK IS COMPLETE. PORCH WALL IS TO BE REBUILT TO EXACTLY MATCH CONFIGURATION OF ORIGINAL WALL. ALTERNATE 1: DOCUMENT, CAREFULLY REMOVE, & REBUILD BRICK PARAPET IN THE EXACT CONFIGURATION, SIZE, AND BRICK BOND AS THE ORIGINAL. REINSTALL MARBLE PARAPET CAP WITH NEW FLASHING. ALTERNATE 1: RE-SEAL ALL MARBLE PARAPET CAP JOINTS W/ CUSTOM TWO-PART POLYURETHANE SEALANT TO MATCH COLOR OF CLEANED MARBLE. CLEAN. (25) <u>ALTERNATE 1:</u> PROVIDE NEW ALUM. GUTTER & DOWNSPOUT AT GARAGE.

SON	ED ARCASSANDER SERVER	kae 285	eyer, garme 5 main stree	ent & davidsor t mount kisco,	rchitects n architects, pc new york 10549 kgdarchitects.com	;)		
1	06/07/19	RC	EK	ISSUED F	OR BID			
REVISION NUMBER	DATE	MADE BY	APP'D BY			REVISION		
			RECO	RD DRAWII	NG CERTIFIC	CATION		
	BUILT - BUILT -	_		NOTED				
NAME	CC	ONTRACT	OR		NAME	PROJECT C	OORDINATOF	7
NAME SIGNATURE TITLE			DATE .		NAME SIGNATURE TITLE		DATE	
				· ·	NEW IC WO		CONTRACT NUMBER 15-556	SHEET NUMBER A2.01

DIVISION OF ENGINEERING

MAIN HOUSE REHABILITATION - MERESTEAD

BEDFORD AND NEW CASTLE, NEW YORK

EAST & WEST EXTERIOR ELEVATIONS

SHEET NO. 21 OF 30

SCALE: 1/8" = 1'-0"

DATE: 06/07/19

92-01-A-48-0

DPW FILE NO.

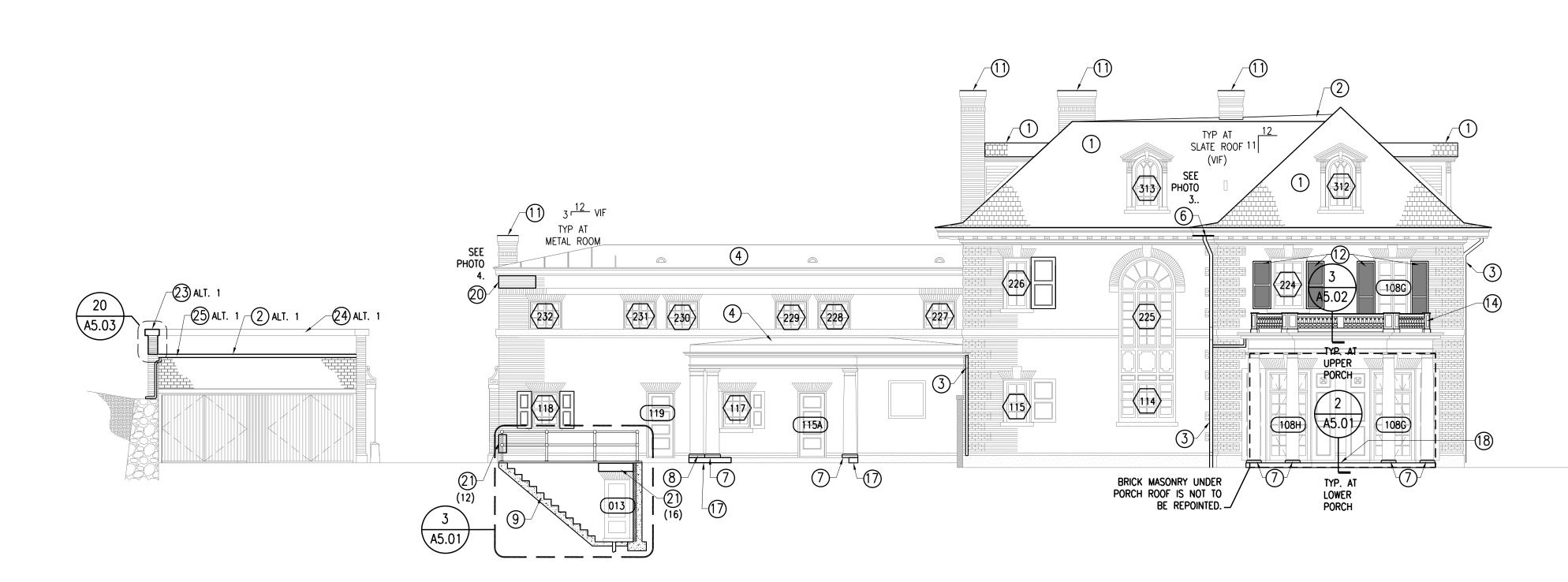
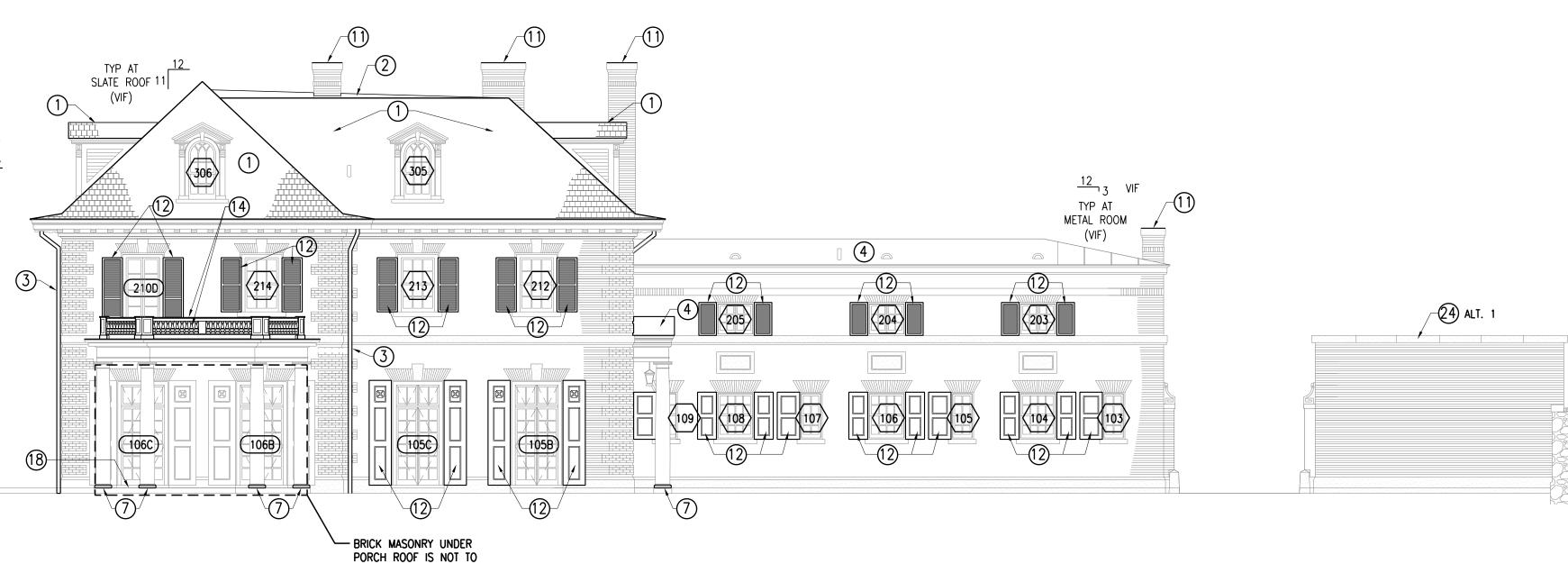




PHOTO OF WD SOFFIT DAMAGE SCALE: 1/8"=1'-0"



SEVERELY ERODED BRICK SCALE: 1/8"=1'-0"



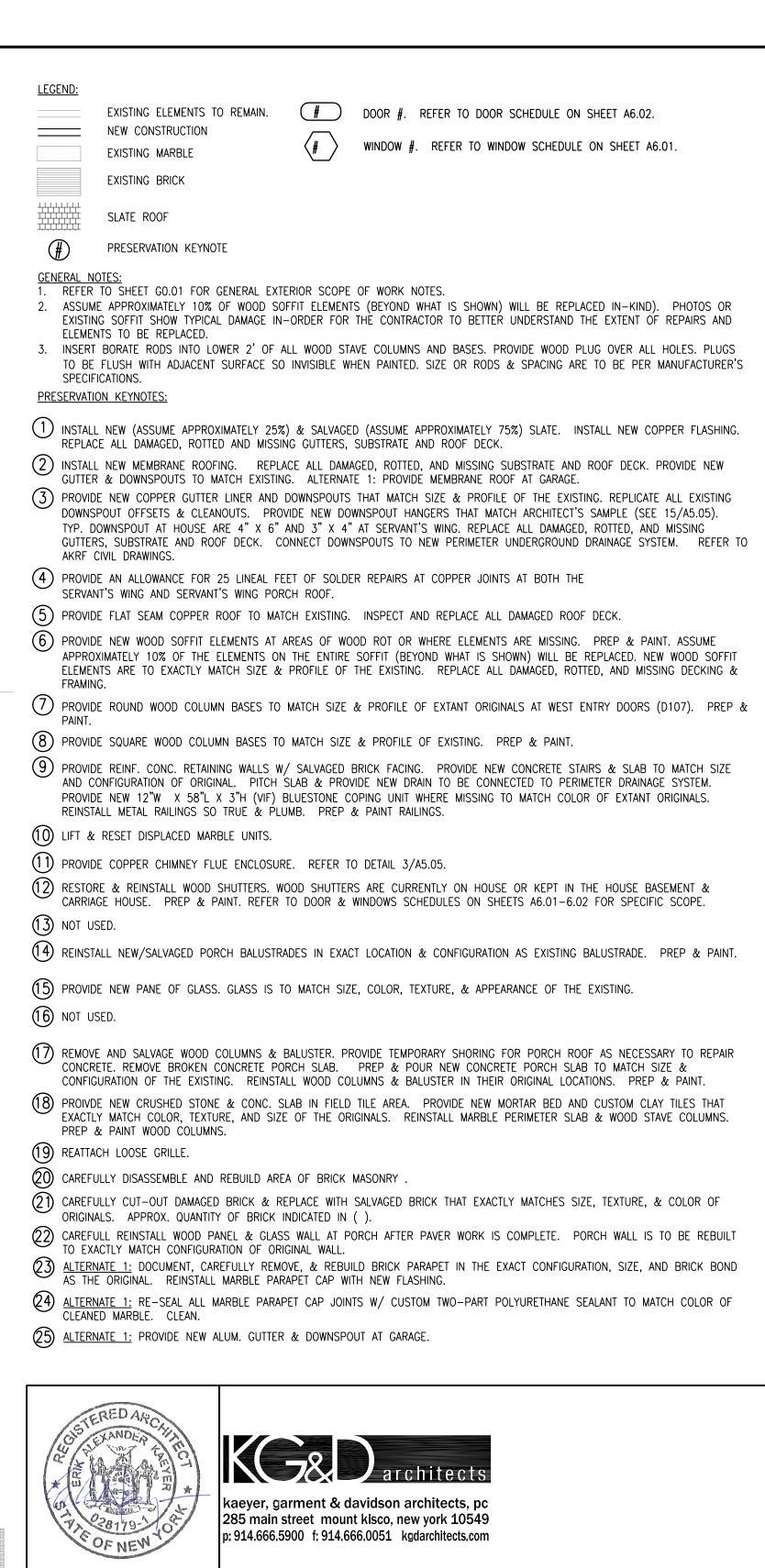
WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION. LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.

IN CHARGE OF _____ CHECKED BY _____ MADE BY _____

SOUTH ELEVATION SCALE: 1/8"=1'-0"

NORTH ELEVATION

SCALE: 1/8"=1'-0"



|06/07/19| RC |

AS BUILT - NO CHANGES

DATE

MADE

BY

AS BUILT - CHANGES AS NOTED

CONTRACTOR

REVISION

NUMBER

NAME

SIGNATURE

EK

APP'D

DATE

WESTCHESTER COUNTY, NEW YORK

DEPARTMENT OF PUBLIC WORKS

DIVISION OF ENGINEERING

MAIN HOUSE REHABILITATION - MERESTEAD

BEDFORD AND NEW CASTLE, NEW YORK

NORTH & SOUTH EXTERIOR ELEVATIONS

I ISSUED FOR BID

RECORD DRAWING CERTIFICATION

NAME

SIGNATURE

REVISION

PROJECT COORDINATOR

DATE

SHEET NO. 22 OF 30 SCALE: 1/8'' = 1'-0''

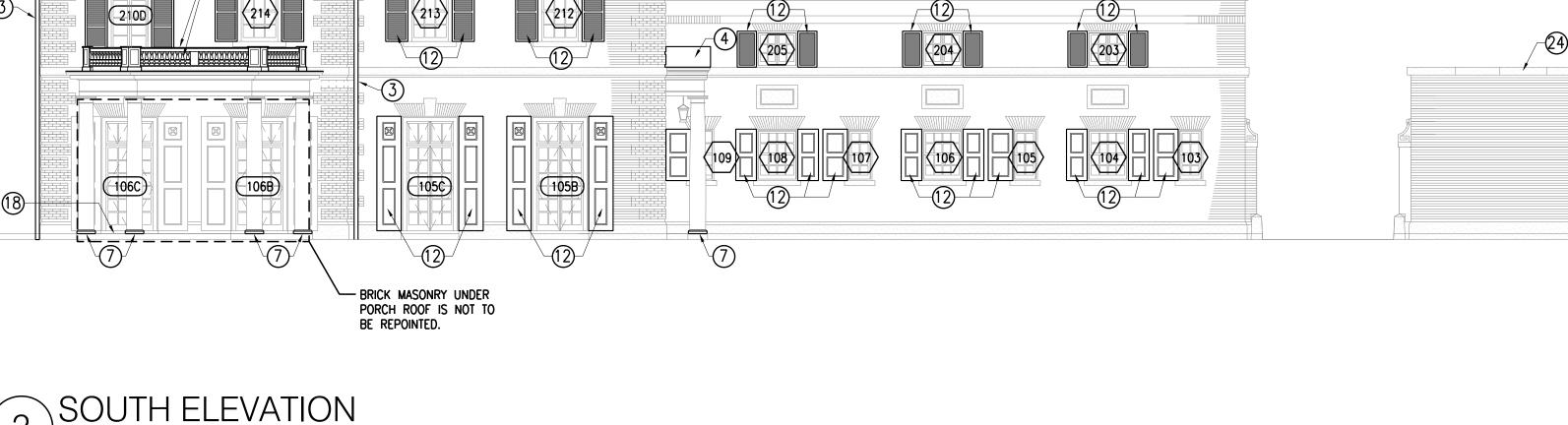
DATE: 06/07/19

92-01-A-49-0

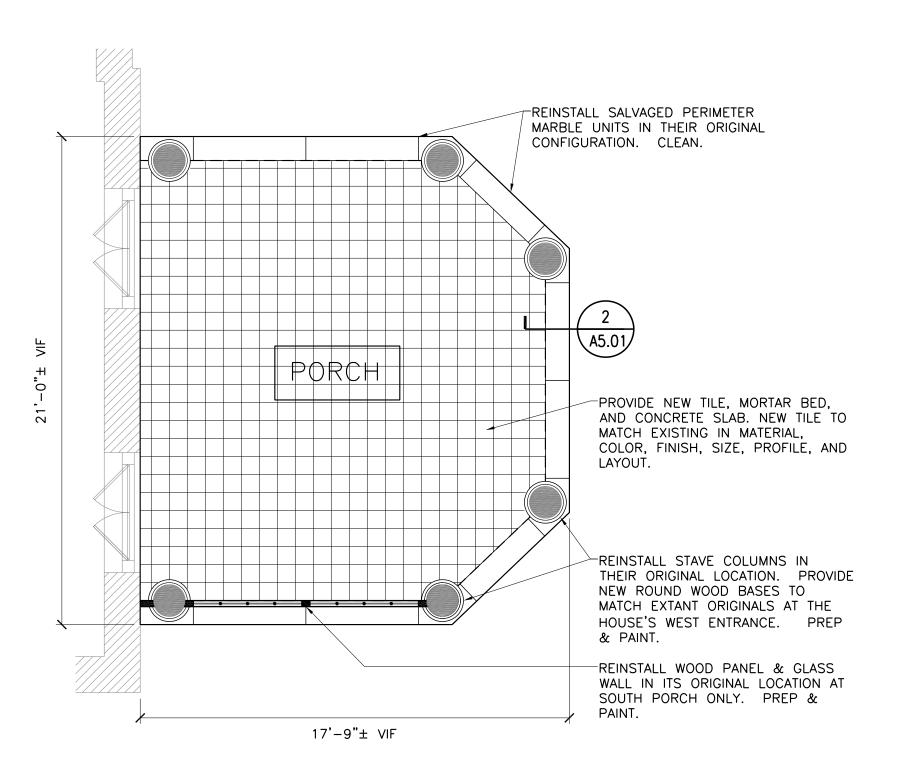
DPW FILE NO.

NUMBER 15-556 SHEET NUMBER

A2.02







5 PORCH PLAN
SCALE: 1/4"=1'-0"



REPLACE WOOD POST AND COLUMN BASES.

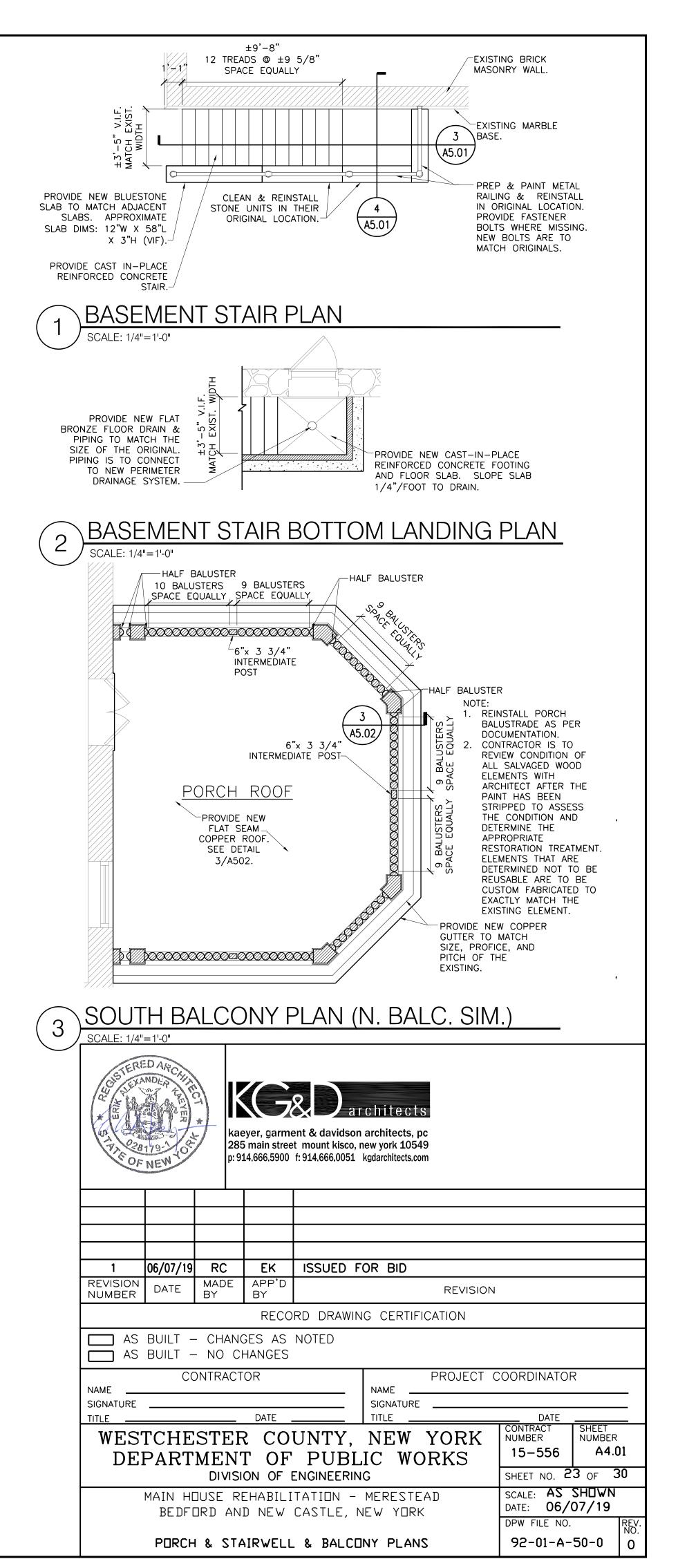
REPLACE DAMAGED CONCRETE UNDER PORCH POSTS/COLUMN.

6 SERVANT'S PORCH DETAIL PHOTO
SCALE: NTS



REPLACE DAMAGED WOOD BASE AT BENCH. PREP & PAINT PT1.

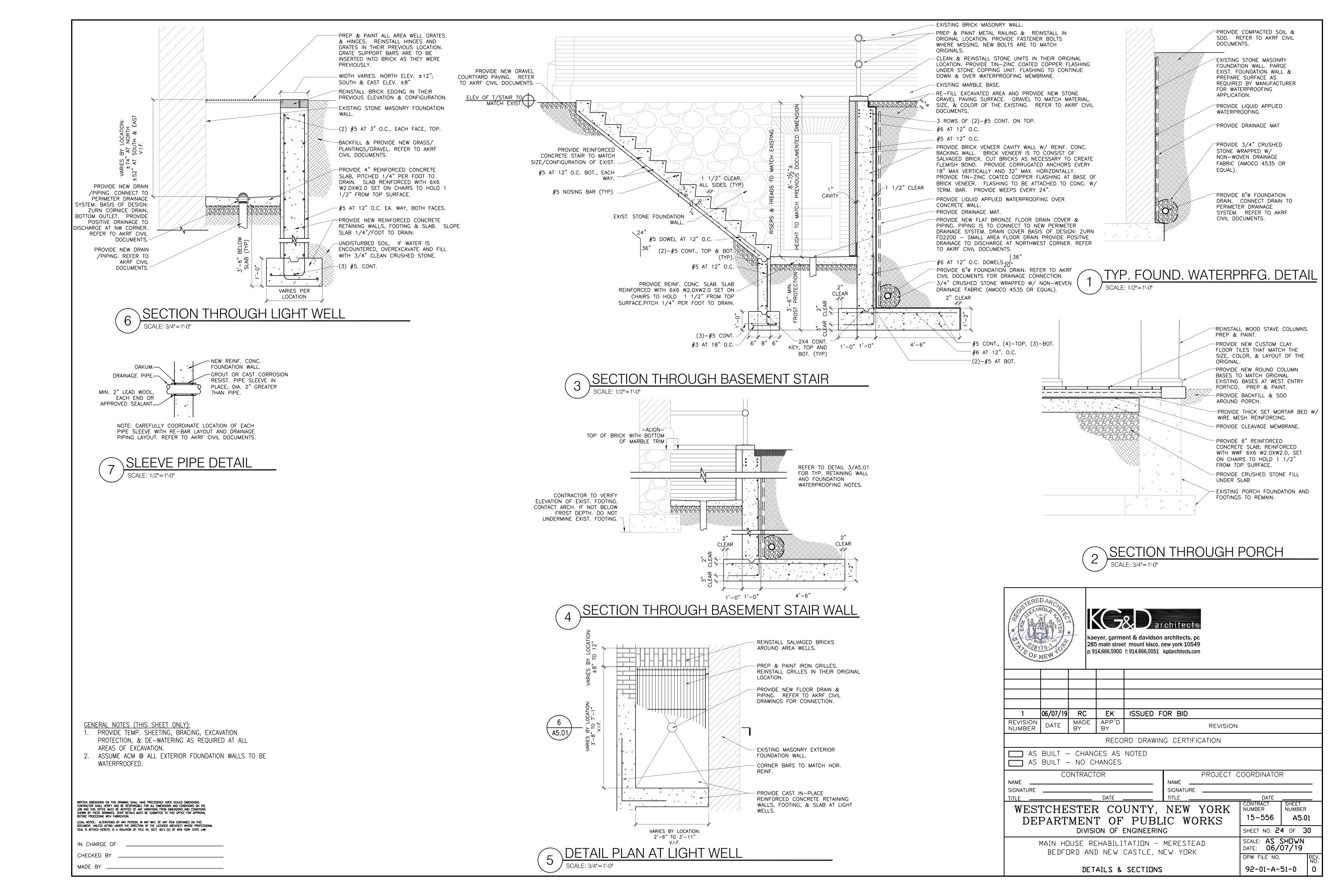
7 SERVANT'S PORCH BENCH DETAIL PHOTO
SCALE: NTS



WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.

CHECKED BY _____







WOOD SCREEN PHOTOS

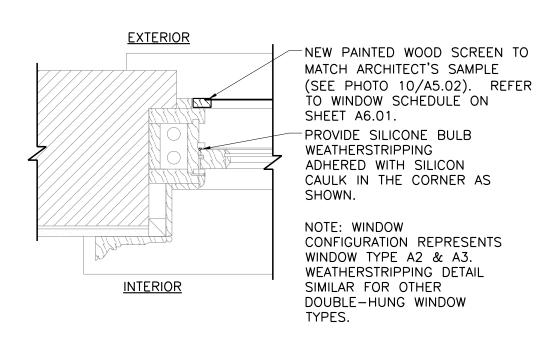


ORIGINAL ROUND COLUMN BASE

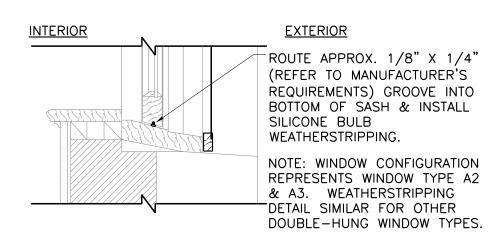


BALCONY RAILING FEATURES

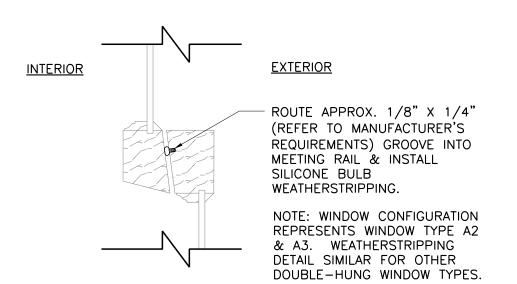
NTS PHOTOS ARE FOR REFERENCE ONLY.



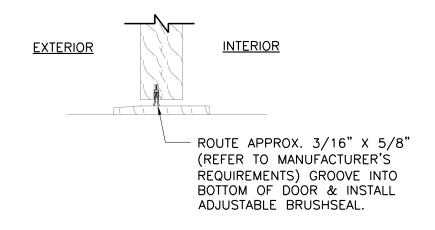
WINDOW JAMB/HEAD DETAIL



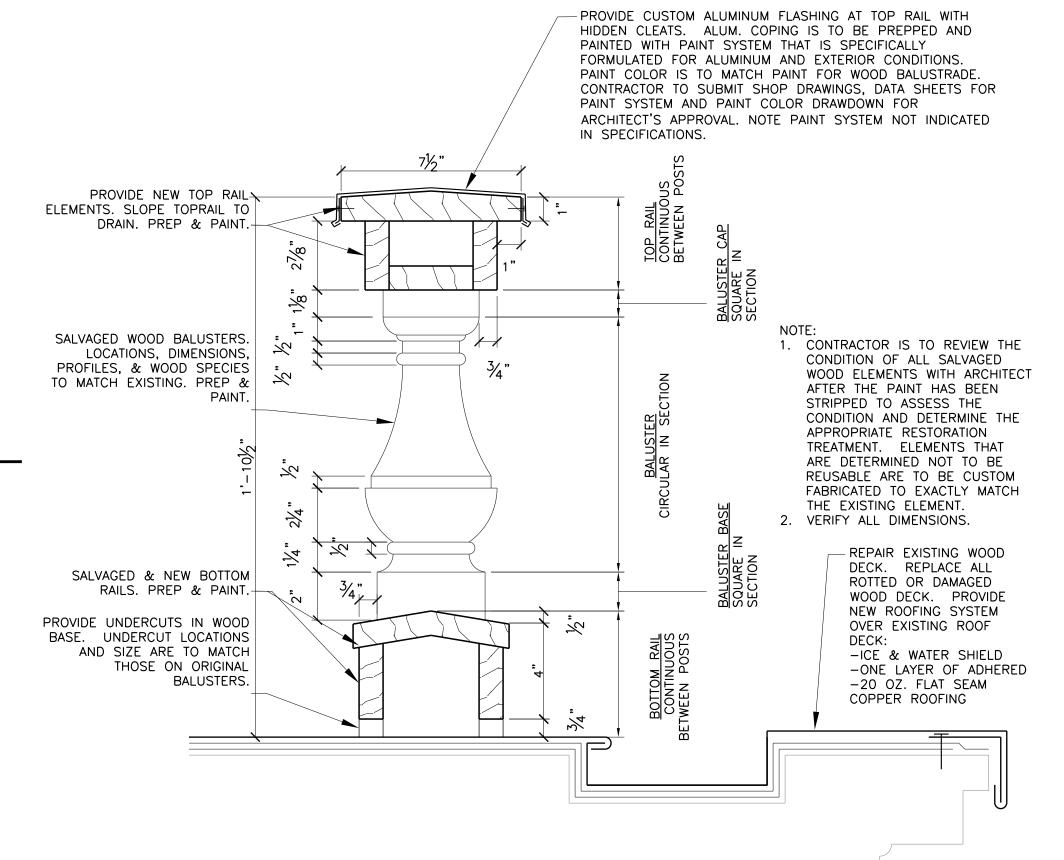




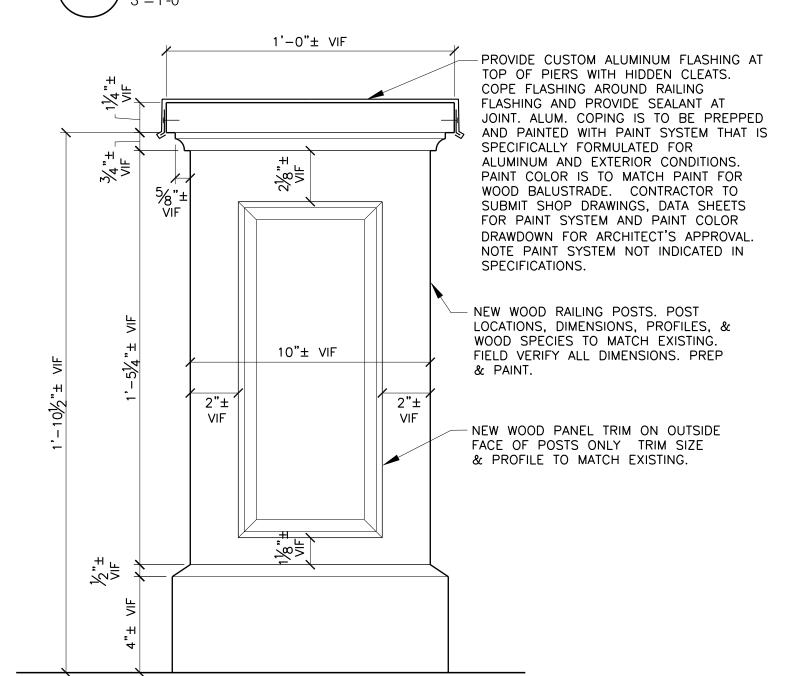
WINDOW MEETING RAIL DETAIL



DOOR SWEEP DETAIL

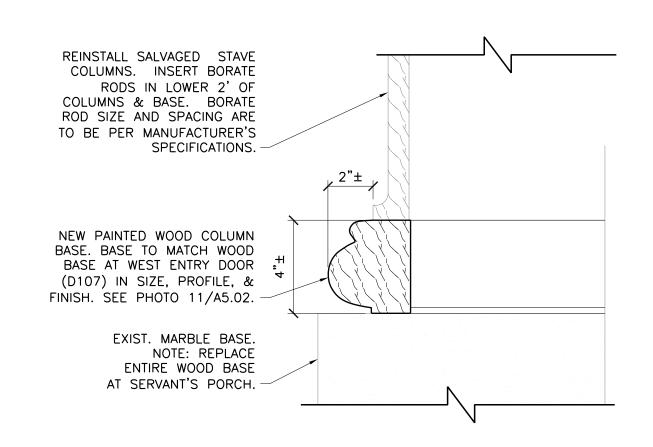




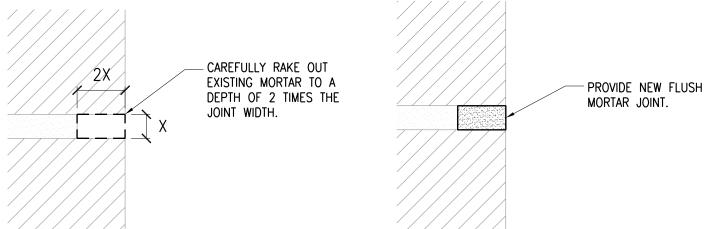


RAILING POST DETAIL-- EXT. SIDE













RECORD DRAWING CERTIFICATION								
AS BUILT — CHANGES AS NOTED AS BUILT — NO CHANGES								
CONTRACTOR	PROJECT COORDINATOR							
SIGNATURE	SIGNATURE							
TITLE DATE	TITLE DATE							
WESTCHESTER COUNTY	NF.W YORK CONTRACT SHEET NUMBER							

WESICHESIER COUNTI, NEW TORK DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING

MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK

BALUSTRADE & RAILING DETAILS

DATE: 06/07/19 DPW FILE NO. 92-01-A-52-0

SHEET NO. 25 OF 30

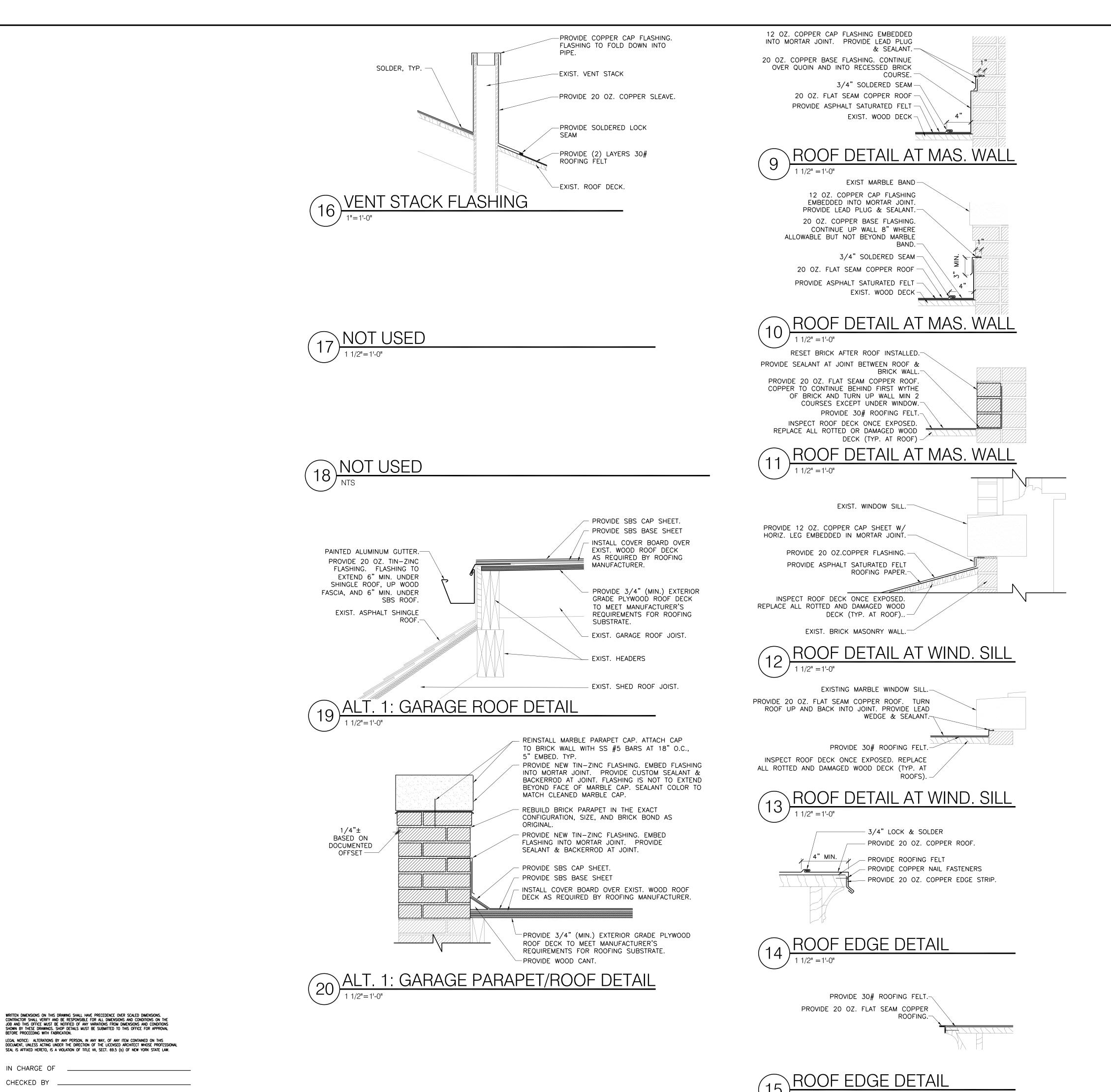
SCALE: AS SHUWN

15-556

A5.02

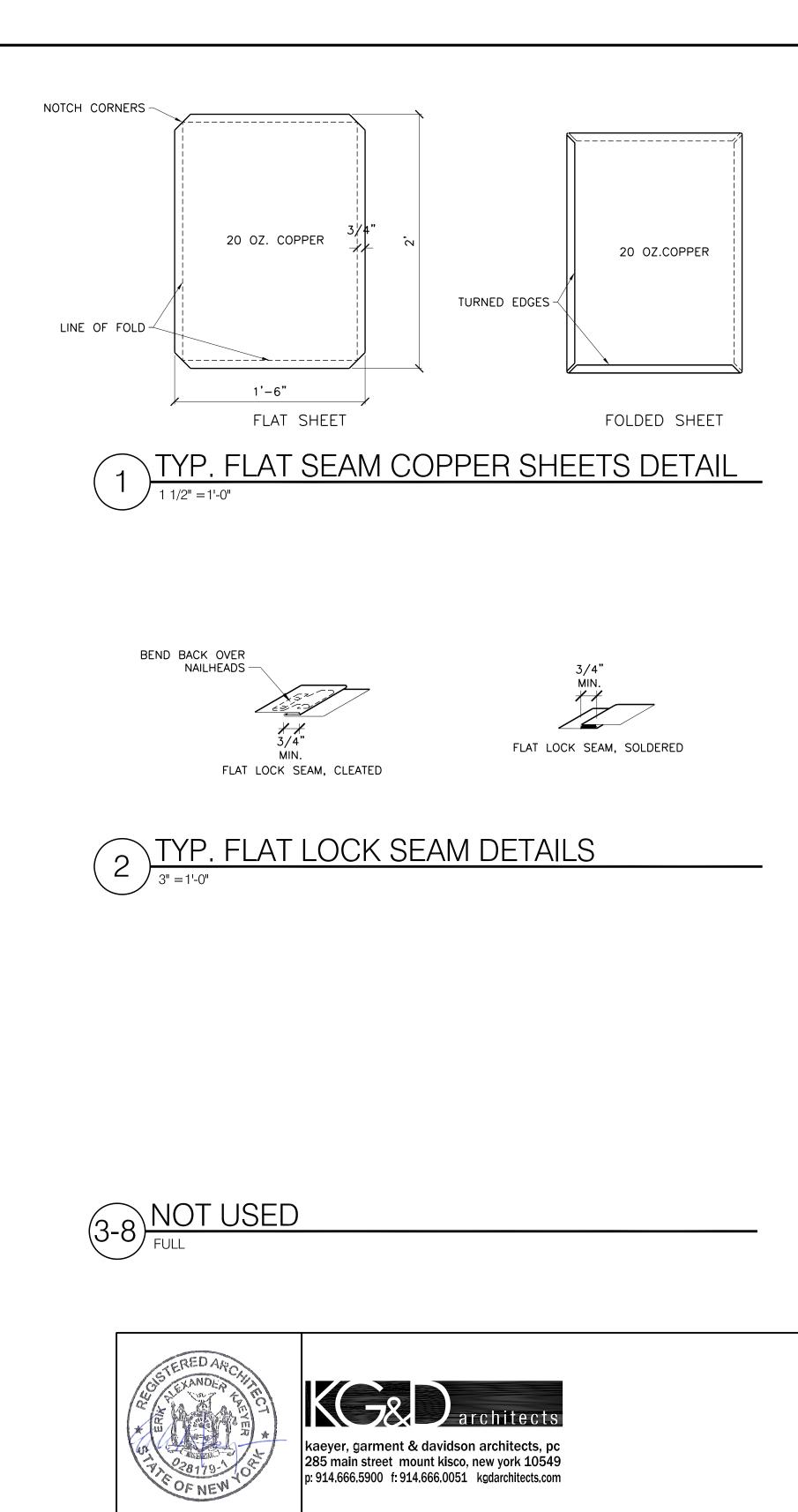
LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW. IN CHARGE OF _____ MADE BY _____

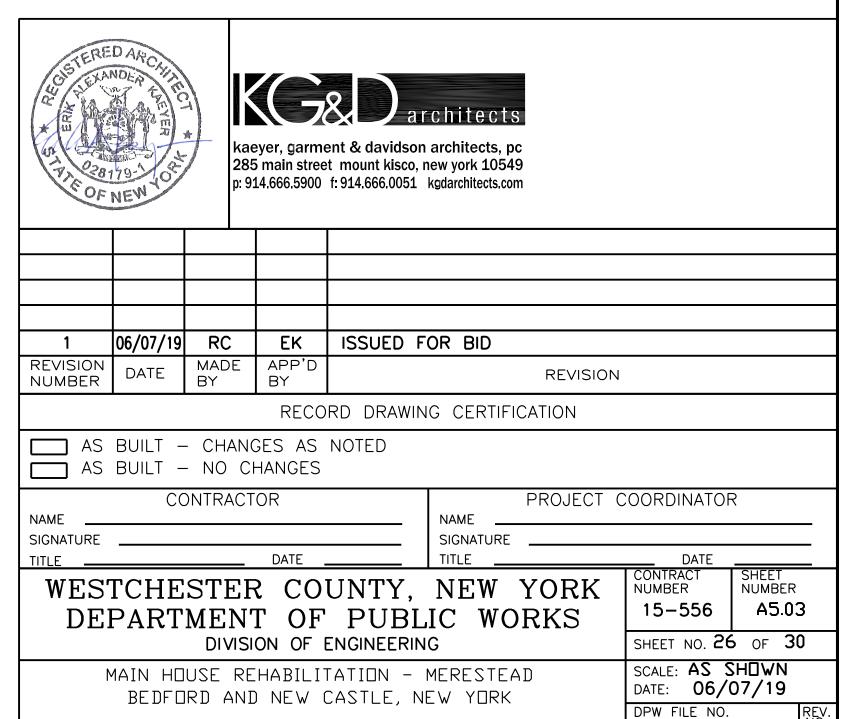
WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.



1 1/2" =1'-0"

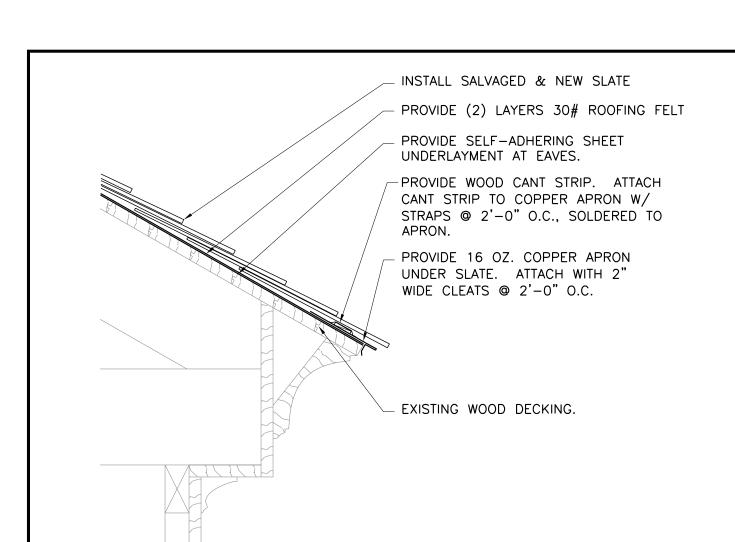
MADE BY _____





ROOF DETAILS

92-01-A-53-0



SLATE ROOF CHIMNEY FLASHING

-EXISTING WOOD CLAPBOARDS PROVIDE 16 OZ. COPPER STEPPED BASE FLASHING WOVEN INTO SHINGLES. ATTACH TO WOOD DECK W/ 2" WIDE CLEATS AT 12" O.C. -SLATE FIELD TILE PROVIDE 16 OZ. COPPER APRON

EXISTING BRICK MASONRY

PROVIDE 16 OZ. COPPER

PROVIDE 16 OZ. COPPER

STEPPED BASE FLASHING

ATTACH TO WOOD DECK W/

2" WIDE CLEATS AT 12" O.C.

WOVEN INTO SHINGLES.

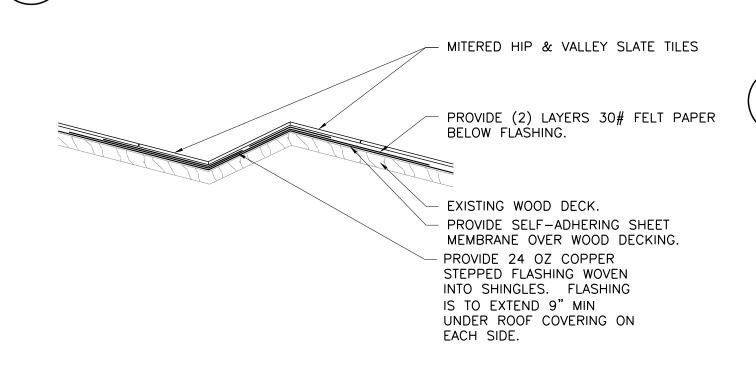
/ SLATE FIELD TILE

STEPPED CAP FLASHING. HEM

AT BOTTOM FOR STIFFNESS.

CHIMNEY.

SLATE ROOF RIDGE



EXISTING WOOD

WRAP OVER HIP.

HIP SLATES.

SLATE TILES

PROVIDE (2) LAYERS 30# ROOFING FELT. FELT TO

PROVIDE STEPPED 16 OZ.

PROVIDE NEW MITRED FIELD

INSTALL SALVAGED & NEW

COPPER HIP FLASHING

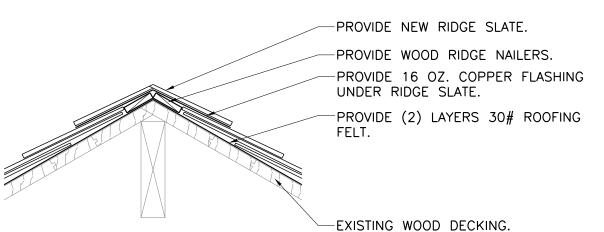
BETWEEN EACH COURSE.

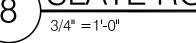
DECK.

SNOWGUARDS TO MATCH SIZE & DESIGN OF THE EXISTING SNOWGUARDS. INSTALL SALVAGED & NEW SLATE PROVIDE (2) LAYERS 30# ROOFING FELT -PROVIDE WOOD SHIMS WHERE 1/4" OR GREATER BETWEEN SLATE AT SWEEP. - PROVIDE SELF—ADHERING SHEET UNDERLAYMENT. PROVIDE 16 OZ. COPPER APRON UNDER SLATE. ATTACH WITH 2" WIDE CLEATS @ 2'-0" O.C. PROVIDE WOOD CANT STRIP. ATTACH CANT STRIP TO COPPER APRON W/ STRAPS @ 2'-0" O.C., SOLDERED TO APRON. PROVIDE 20 OZ. COPPER GUTTER - PROVIDE 20 OZ. COPPER EDGE STRIP ATTACHED WITH TIN-ZINC NAILS @ 3" - EXIST. WOOD DECK. REPLACE ALL DAMAGED AND ROTTED WOOD DECKING. (TYP. AT SLATE ROOF) NOTE: MANUFACTURER TO PROVIDE SNOW GUARD QUANTITY & LAYOUT.

PROVIDE COPPER WIRE LOOP

SLATE ROOF DORMER EDGE



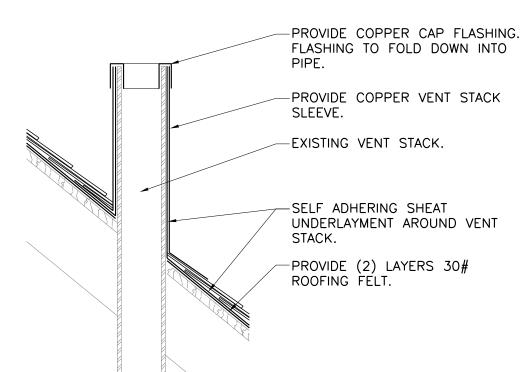


PROVIDE 16 OZ. COPPER

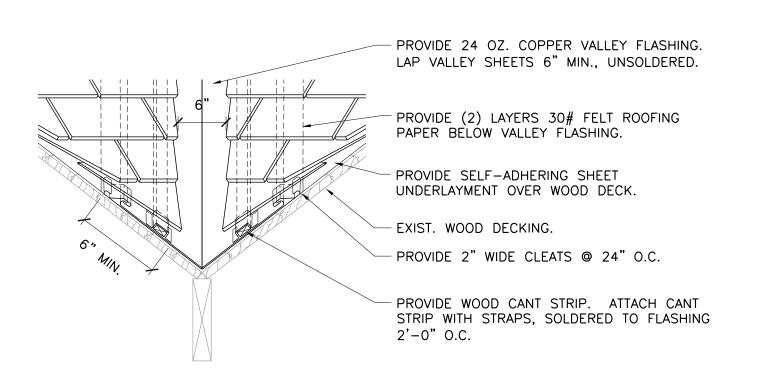
APRON. HEM EDGE FOR

STIFFNESS.

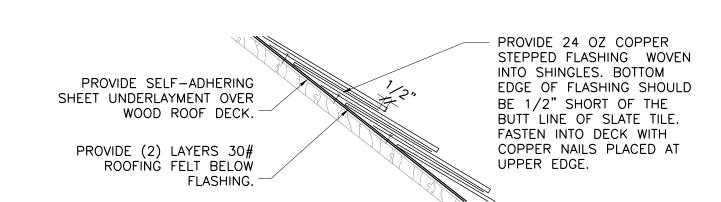




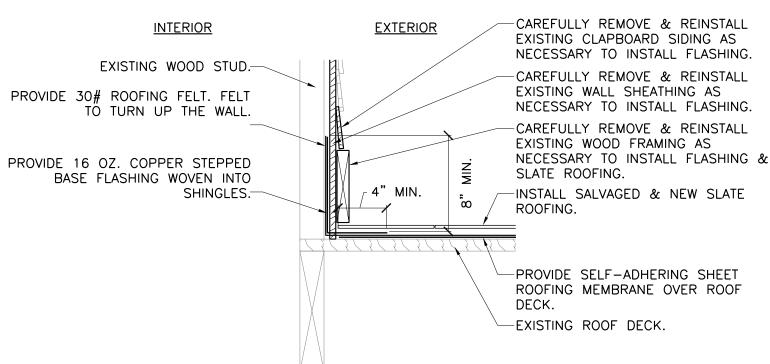
SLATE ROOF SWEEP/BUILT IN GUTTER

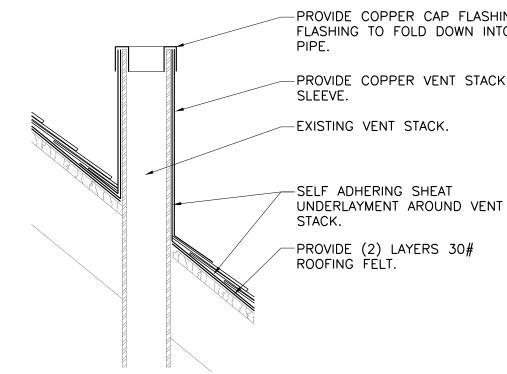


SLATE ROOF DORMER RIDGE



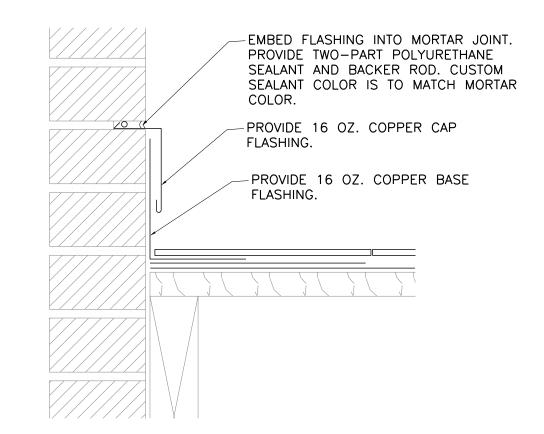
SLATE ROOF DORMER FLASHING



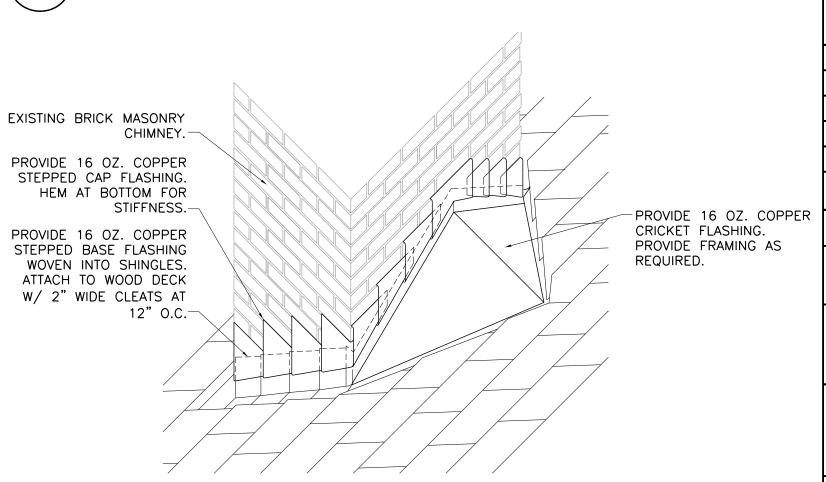


SLATE ROOF OPEN VALLEY FLASHING

SLATE ROOF WOVEN STEPPED FLASHING 1 1/2" =1'-0"



SLATE ROOF VENT STACK FLASHING



|06/07/19| RC EK ISSUED FOR BID REVISION MADE APP'D DATE **REVISION** BY NUMBER

aeyer, garment & davidson architects, pc

285 main street mount kisco, new york 10549 p: 914.666.5900 f: 914.666.0051 kgdarchitects.com

SLATE ROOF CAP FLASHING DETAIL

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION. LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW. IN CHARGE OF

CHECKED BY

MADE BY _____

-EXISTING WOOD SILL. -CAREFULLY REMOVE & REINSTALI WOOD TRIM AS NECESSARY TO INSTALL FLASHING & SLATE TILES. -PROVIDE 16 OZ. COPPER APRON FLASHING. FLASHING TO EXTEND UNDER WOOD TRIM. -INSTALL NEW & SALVAGED SLATE

SLATE ROOF DORMER FLASHING

SLATE ROOF CHIMNEY FLASHING 3/4" = 1'-0"

	RECORD	DRAWING	CERTIFICATION
AS BUILT — CHANGE	S AS NO	TED	

AS BUILT - NO CHANGES CONTRACTOR PROJECT COORDINATOR NAME NAME SIGNATURE SIGNATURE DATE DATE SHEET NUMBER

WESTCHESTER COUNTY, NEW YORK 15-556 DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING SHEET NO. 27 OF 30

MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK

ROOF DETAILS

DPW FILE NO. 92-01-A-54-0

NUMBER

SCALE: AS SHOWN DATE: 06/07/19

A5.04

10) SLATE ROOF CHIMNEY FLASHING



PHOTO OF ENTRANCE PORCH ROOFS



PHOTO OF SERVANT'S PORCH GUTTER



PHOTO OF SERVANT'S ROOF SCUPPERS



PHOTO OF DOWNSPOUT OFFSETS



PHOTO OF CONDUCTOR HEAD & DOWNSPOUT HANGER

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION. LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONA SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.

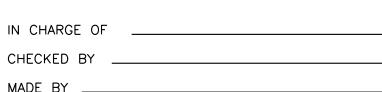






PHOTO OF CHIMNIES ON SLATE ROOF



PHOTO OF FLAT ROOF & CHIMNIES



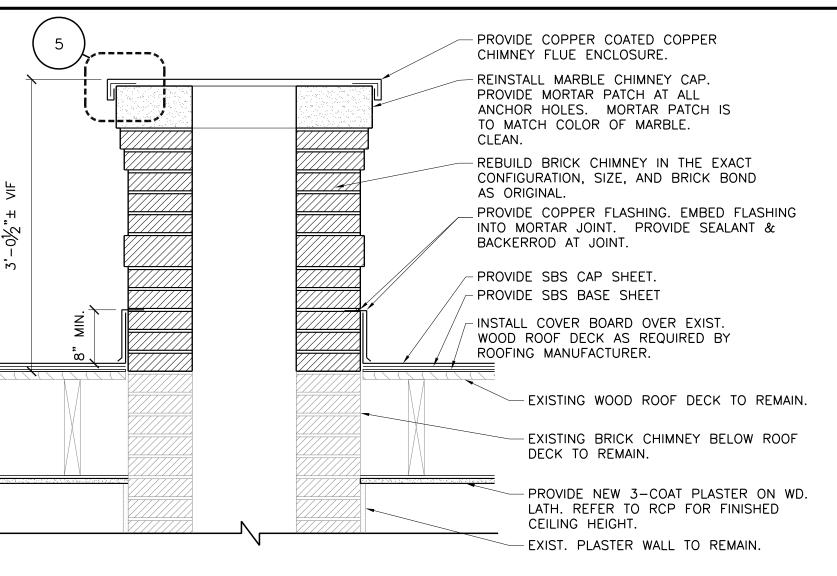
PHOTO OF FLAT ROOF CORNER



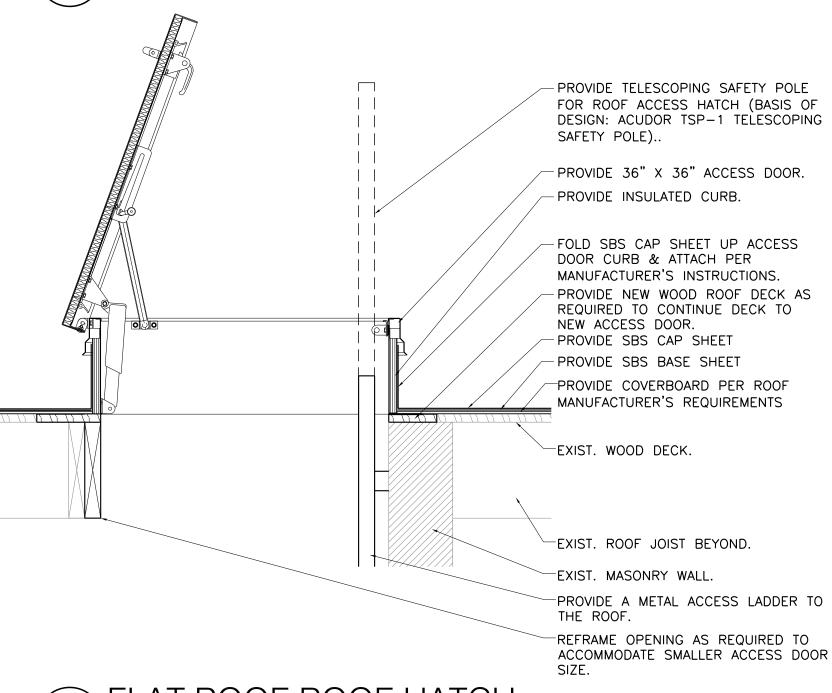
PHOTO OF SERVANT'S ROOF



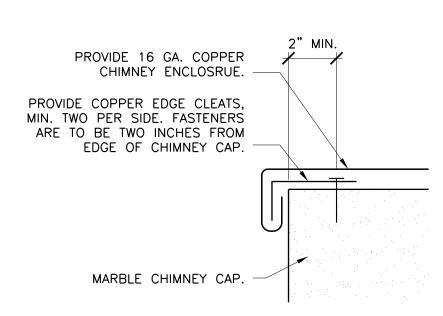
PHOTO OF SERVANT'S PORCH ROOF



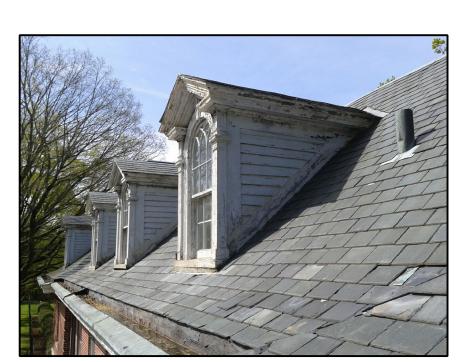
FLAT ROOF CHIMNEY REBUILD/FLASHING



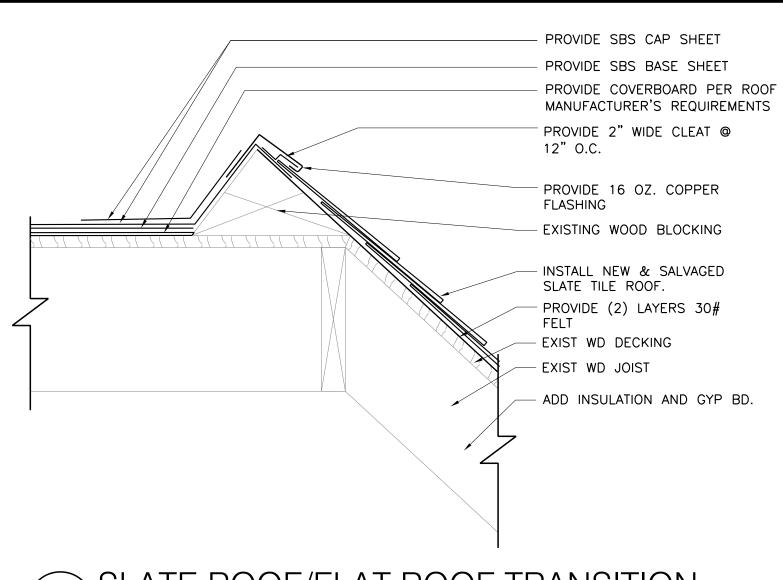
\FLAT ROOF ROOF HATCH



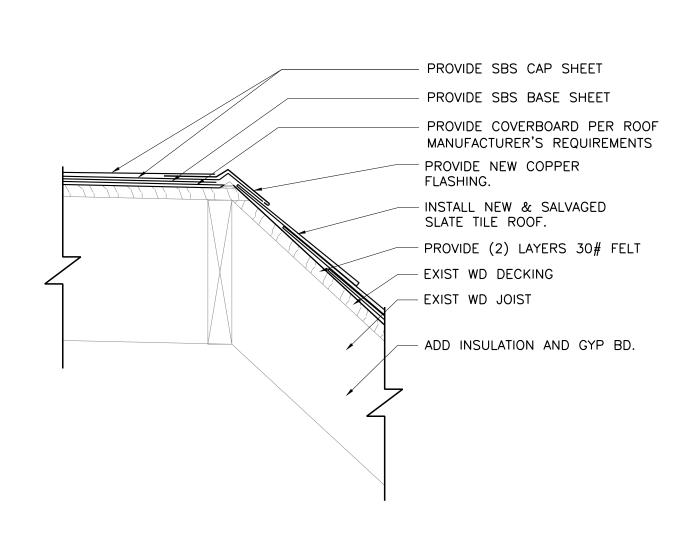
CHIMNEY ENCLOSURE EDGE DETAIL



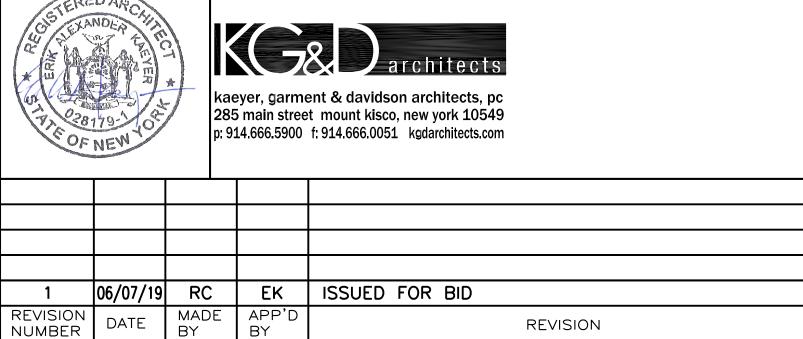
6 PHOTO OF SLATE ROOF & DORMERS



SLATE ROOF/FLAT ROOF TRANSITION



SLATE ROOF/FLAT ROOF TRANSITION



REVISION RECORD DRAWING CERTIFICATION

AS BUILT - CHANGES AS NOTED AS BUILT - NO CHANGES PROJECT COORDINATOR CONTRACTOR NAME NAME SIGNATURE SIGNATURE DATE

WESTCHESTER COUNTY, NEW YORK NUMBER 15-556 DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING SHEET NO. 28 OF 30

NUMBER

MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK

DPW FILE NO. ROOF DETAILS

92-01-A-55-0

SCALE: AS SHOWN

DATE: 06/07/19

SHEET NUMBER

A5.05

IDENTIFICA	ATION		Œ (INCHES)		RESTORA	ATION TREAT	MENTS*		HAR	RDWARE		SCREEN				SHUT	TERS	
NDOW #	TYPE	WIDTH	HEIGHT	FRAME	SASH	EXT. PT.	INT. PT.	GLAZING	SET#	TREATMENT	ON WIND. (Y/N)	SIZE (VIF)	TREATMENTS	ON WIND. (Y/N)	TYPE	SIZE (VIF)	TREATMENTS	PT. COLOR
001	A1	39.5"	31.5"	1	1	PT1	PT2	1, 2 (2 @ 35.5" W X	A	1	NA NA	NA.	NA NA	NA	NA NA	NA NA	NA NA	NA
002	A1	39.5"	31.5"	1	1	NA	PT2	13.5" H) NA	NA	NA	NA	NA.	NA	NA	NA	NA	NA	NA
003	A1	39.5"	31.5"	1	1	PT1	PT2	1, 2 (2 @ 35.5" W X 13.5" H)	Α	1	NA	NA	NA	NA	NA	NA	NA	NA
004 005	A1 A1	39.5" 45"	31.5" 37"	1	1	NA NA	PT2 PT2	NA NA	NA NA	NA NA	NA NA	NA NA	NA NA	NA NA	NA NA	NA NA	NA NA	NA NA
006	A1	45"	47.5"	1, 4	1	PT1	PT2	1	A	1	NA NA	NA NA	NA NA	NA	NA	NA NA	NA NA	NA NA
007	A1	45"	47.5"	1	1	PT1	PT2	1, 2 (2 @ 35.5" W X 13.5" H)	Α	1	NA	NA	NA	NA	NA	NA	NA	NA
008	A1	39.5"	48"	1	1	PT1	PT2	1, 2 (2 @ 35.5" W X 13.5" H)	Α	1	NA	NA	NA	NA	NA	NA	NA	NA
101	A4	38.5"	47.5"	1	1	PT1	PT2	1, 2 (2 @ 8.75" X 10.25")	Α	1	N	40 X 51	1	N	Α	(2) 20 x 51	1, 2	PT1
102	A4	38.5"	47.5"	1	1	PT1	PT2	1, 2 (1 @ 8.75" X 10.25")	А	1	N	40 X 51	1	N	Α	(2) 20 x 51	1, 2 (1), 3 (1)	PT1
103	A2	21.5"	47.5"	1	1	PT1	PT2	1	Α	1	N	21x51	1	N	В	21x51	1, 2	PT1
104 105	A4 A2	38.5" 21.5"	47.5" 47.5"	1	1 1	PT1 PT1	PT2 PT2	1, 5 (STICKER)	A A	1, 2 (2 PULLS)	Y N	40 X 51 21x51	1, 2	N N	<u>А</u> В	(2) 20 x 51 21x51	1, 2 1, 2	PT1 PT1
106	A4	38.5"	47.5"	1	1	PT1	PT2	1	A	1	Y	40 X 51	1, 2	N	Α	(2) 20 x 51	1, 2	PT1
107	A2 A4	21.5" 38.5"	47.5" 47.5"	1	1	PT1 PT1	PT2 PT2	1 1	A A	1 1	N Y	21x51 40 X 51	1, 2	N N	<u>В</u> А	21x51 (2) 20 x 51	1, 2, 5 1, 2	PT1 PT1
109	A2	21.5"	47.5"	1	1, 6 (1), 7 (1" DIA.)	PT1	PT2	1	Α	1	N	21x51	1	N	В	21x51	1, 2, 5	PT1
110	A2	21.5"	47.5"	1	1 1	PT1	PT3	1, 2 (1 -VIF GL	Α	1	N	21x51	1	N	В	21x51	1, 2	PT1
111	A2	21.5"	47.5"	1	1	PT1	PT3	SIZE)	Α	1	N	21x51	1	N	В	21x51	1, 2, 5	PT1
112 113	A2 A2	21.5" 21.5"	47.5" 47.5"	1, 12 1, 12	1	PT1 PT1	PT3 PT3	1 1	A A	1 1	N N	21x51 21x51	1 1	N N	B B	21x51 21x51	1, 2 1, 2	PT1 PT1
114	A6	60"	43"	1	1, 6 (1)	PT1	PT2	1, 2 (1 @ 12" X 10")	В	1	N	NA NA	NA NA	NA NA	NA	NA NA	NA	NA NA
115	A2	24.5"	45.75"	1	1, 0 (1)	PT1	PT2	1	A	1	N	24 X 48	1	Y	В	24 X 48	1	PT1
16	A2	21.5"	47.5"	1	1	PT1	PT2	1 2/1 @ 9.75" X	Α	1	N	21x51	1	Y	В	21x51	1	PT1
17	А3	33.5"	45.75"	1	1	PT1	PT2	1, 2(1 @ 9.75" X 9.365")	A	1	N	34 X 46	1	Y	Α	(2) 17 X 46	1	PT1
18	А3	33"	45.75"	1	1	PT1	PT2	1, 2 (1 @ 9.75" X 9.365")	Α	1	N	34 X 46	1	N	Α	(2) 17 X 46	1, 2	PT1
19	C1	24"	36"	1 DDED & DAINT	1	NA NA	PT2	11	NA D	NA 1, 2 (PULL	N	NA NA	NA NA	NA NA	NA NA	NA NA	NA NA	NA NA
120	D	NA	NA NA	PREP & PAINT	PREP & PAINT 1, 6 (1), 12 (3" X	1	PT2	1	D	CHAIN)	N	NA 40.2400	NA	NA 	NA .	NA (2) 22 22	NA	NA
01	В	38.75"	30.5"	1 5 00 000 0	1" X 1/2"), 8	PII	PT2	1	E	1		40 X 36		N	С	(2) 20x36	1, 2, 4	PT4
02	В	38.75"	30.5"	1, 5 (WOOD @ SLL)	1, 6 (1), 12 (3" X 1" X 1/2"), 8	111	PT2	1	E	1	N	40 X 36	1	N	С	(2) 20x36	1, 2, 4	PT4
03	В	38.75"	30.5"	1	1, 12 (7" X 1" @ BOT. STILE OF		PT2	1	E	1, 2 (TOP BOLT	N	40 X 36	1	N	С	(2) 20x36	1, 2, 4	PT4
				<u> </u>	SASH W/ LATCH CATCH)				_	KNOB)	<u> </u>	10 7,00	<u>L</u> _ '	_ '`				
1	_				1, 8, 12 (7" X 1" @ BOT. STILE				_						_	,		
204	В	38.75"	30.5"	1	OF SASH W/	PT1	PT2	1	E	1	N	40 X 36	1	N	С	(2) 20x36	1, 2, 4	PT4
					1, 12 (3" X 1" @													
205	В	38.75"	30.5"	1	SASH W/ LATCH CATCH)	PT1	PT2	1	E	1	N	40 X 36	1	N	С	(2) 20x36	1, 2, 4	PT4
206	A3 A3	37" 37"	56.5" 56.5"	1	1, 8	PT1 PT1	PT2 PT2	1 1	C C	1 1	N Y	38 X 57 38 X 57	1, 2	N N	D D	(2) 19 x 57 (2) 19 x 57	1, 2 1, 2	PT4 PT4
08	A3	37"	56.5"	1	1	PT1	PT2	1, 8	С	1	N	38 X 57	1	N	D	(2) 19 x 57	1, 2	PT4
209	A3	37"	56.5"	1	1	PT1	PT2	1 1, 2 (1 -VIF GL	С	1	Y	38 X57	1, 2	N	D	(2) 19 x 57	1, 2	PT4
210	A3 A3	37" 37"	56.5" 56.5"	1	1	PT1 PT1	PT2 PT2	SIZE)	С	1	N N	38 X 57	1	N N	D D	(2) 19 x 57 (2) 19 x 57	1, 2	PT4
12	A3	37"	56.5"	1	1	PT1	PT2	1	С	1	N	38 X 57	1	N	D	(2) 19 x 57	1, 2	PT4
13	A3	37"	56.5"	1	1	PT1	PT2	1 1, 2 (1 -VIF GL	С	1	N	38 X 57	1	N	D	(2) 19 x 57	1, 2	PT4
:14	A3	37"	56.5"	1 1, 5 (WOOD ON	1	PT1	PT2	SIZE)	С	1	N	38 X 57	1	N	D	(2) 19 x 57	1, 2	PT4
215	A3	37"	56.5"	STOP)	1	PT1	PT2	1	С	1	Y	38 X57	1, 2	N	D	(2) 19 x 57	1, 2	PT4
216	A3	37"	56.5"	1, 5 (THERMOMETER)		PT1	PT2	1, 2 (1 -VIF GL SIZE)	С	1	Y	38 X 57	1, 2	N	D	(2) 19 x 57	1, 2	PT4
17	A3 A3	37" 37"	56.5" 56.5"	1	1 1	PT1 PT1	PT2 PT2	1 1	C	1 1	Y	38 X 57 38 X 57	1, 2 1, 2	N N	D D	(2) 19 x 57 (2) 19 x 57	1, 2 1, 2	PT4 PT4
19	A3	37"	56.5"	1	1	PT1	PT2	1	С	1	Y	38 X 57	1, 2	N	D	(2) 19 x 57	1, 2	PT4
20 21	A3 A3	37" 37"	56.5" 56.5"	1	1 1	PT1 PT1	PT2 PT2	1	C	1 1	Y	38 X 57 38 X 57	1, 2 1, 2	N N	D D	(2) 19 x 57 (2) 19 x 57	1, 2 1, 2	PT4 PT4
22	A3	37"	56.5"	1	1	PT1	PT2	1	С	1	Y	38 X 57	1, 2	N	D	(2) 19 x 57	1, 2	PT4
23	A3 A3	37" 37"	56.5" 56.5"	1	1 1	PT1 PT1	PT2 PT2	1 1	C	1 1	Y	38 X 57 38 X 57	1, 2 1, 2	N N	D D	(2) 19 x 57 (2) 19 x 57	1, 2 1, 2	PT4 PT4
25	Е	VIF	VIF	1 1, 5 (PULLEYS,	1	PT1	PT2	1	F	1	N	NA	NA	NA	NA	NA	NA	PT4
26	A2	24.5"	56.5"	HOOKS BLINDS, & BLIND HDW)	1	PT1	PT2	1	Α	1	N	26 X 57	1	N	D	(2) 13X57	3	PT4
27	В	38.75"	30.5"	1	1, 8	PT1	PT2	1	С	1	N	40 X 36	1	N	С	(2) 20x36	1, 2, 4, 5 (1)	PT4
28	В	38.75"	30.5"	1	1, 9	PT1	PT2	1 1, 2 (2 @ 7.75" X	E	1 1, 2 (TOP & BOT.	N	40 X 36	1	N	С	(2) 20x36	1, 2, 4	PT4
29	В	38.75"	30.5"	1	1, 9 1, 5 (CURTAIN	PT1	PT2	8")	С	BOLT)	N	40 X 36	1	N	С	(2) 20x36	1, 2, 4	PT4
30	В	38.75"	30.5"	1	ROD &	PT1	PT2	1, 2 (2 @ 7.75" X 8")	С	1, 2 (BOT. BOLT)	N	40 X 36	1	N	С	(2) 20x36	1, 2, 4	PT4
31	В	38.75"	30.5"	1	BRACKETS) 1, 6	PT1	PT2	1	С	1	Y	40 X 36	1, 2	N	С	(2) 20x36	1, 2, 4	PT4
32	B C1	38.75" 30"	30.5" 18"	1	1, 6 1	PT1 NA	PT2 PT2	1 1	C NA	1 NA	N NA	40 X 36 NA	1 NA	N NA	C NA	(2) 20x36 NA	1, 2, 4 NA	PT4 NA
34	C2	11"	25.5"	1	1	NA NA	PT2	1	NA	NA NA	NA NA	NA.	NA NA	NA NA	NA NA	NA NA	NA NA	NA NA
01	A5	30"	62"	11	1, 5 (PULLEYS), 13	PT1	PT2	1	С	1	NA	NA	NA		E	VIF	1	PT2
303	^ F	20"	601	4	1 40	DT4	DTO	1, 2 (1 @ TOP SASH 8.75" X 15" &			NIA	NIA	NI A			\ /UE		DTO
02	A5	30"	62"	1	1, 13	PT1	PT2	1 @ BOT. SASH 8.5" X 12.5")	С	1	NA 	NA NA	NA NA		E	VIF	1	PT2
03	A5	30"	62"	1	1, 13	PT1	PT2	1, 2 (1 @ BOT.	С	1	NA	NA.	NA		E	VIF	1	PT2
04	A5	30"	62"	1	1, 13	PT1	PT2	SASH 8.5" X 12.5")	С	1	NA	NA	NA		E	VIF	1	PT2
05	A5	30"	62"	1	1, 13	PT1	PT2	1	С	1, 2 (SASH LOCK)	NA	NA.	NA		E	VIF	1	PT2
		a = :			1, 13, 14 (BOT. RAIL OF			1, 2 (1 @ BOT.										
		30"	62"	1	LOWER SASH & WOOD SILL)	PT1	PT2	SASH 8.5" X 12.5")	С	1	NA NA	NA NA	NA NA		E	VIF	1	PT2
06	A5		62"	1	1, 13	PT1	PT2	1	С	1	NA	NA	NA		E	VIF	1	PT2
07	A5	30"		1	1, 13 1, 13	PT1 PT1	PT2 PT2	1 1	C C	1 1	NA NA	NA NA	NA NA		E E	VIF VIF	1 1	PT2 PT2
07		30" 30" 30"	62" 62"		1, 13	PT1	PT2	1	С	1	NA	NA	NA		E	VIF	1	PT2
07 08 09 0	A5 A5 A5 A5	30" 30" 30"	62" 62"	1		PT1	PT2	1	C C	1 1	NA NA	NA NA	NA NA		E E	VIF VIF	1 1	PT2 PT2
07 08 09 10	A5 A5 A5	30" 30"	62"	1 1	1, 13 1, 13	PT1	PT2				1	<u> </u>	1	l		1.		
07 08 09 10 11	A5 A5 A5 A5 A5	30" 30" 30" 30"	62" 62" 62"	1		PT1 PT1	PT2 PT2	1, 2 (1 @ BOT.	С	1	NA	NA.	NA		E	VIF	1	PT2
07 08 09 10 11 11 12	A5 A5 A5 A5 A5 A5 A5	30" 30" 30" 30" 30" 30"	62" 62" 62" 62"	1	1, 13		PT2	SASH 8.5" X 12.5")	С	1	NA	NA.	NA		E	VIF	1	PT2
07 08 09 10 11 12	A5 A5 A5 A5 A5 A5 A5	30" 30" 30" 30" 30" 30"	62" 62" 62" 62"	1	1, 13		PT2	SASH 8.5" X 12.5")							E	VIF	1	PT2
06 07 08 09 10 11 12 13 DOW HAF	A5 A5 A5 A5 A5 A5 A5 C2) EXIST (1) EXIST	30" 30" 30" 30" 30" 30" 30" 50" 30"	62" 62" 62" 62" 62"	1 1 1 AR INSET PULLS	1, 13 1, 13	PT1	PT2 <u>PAI</u> PT1 PT2	SASH 8.5" X 12.5") NT COLORS: OFF-WHITI OFF-WHITI	E (MUNSELL 5 E (MUNSELL 5	Y 9/1 OR BEN. MOO Y 9/1 OR BEN. MOO	I DRE OC-94 "WINDSWE DRE OC-87 "CAPRI CO,	 PT"); SEMI-GLOS AST"); SATIN GLO	S. 988.		Е	VIF	1	PT2
007 08 09 00 11 12	A5 A5 A5 A5 A5 A5 A5 CO EXIST (1) EXIST EXIST. BE	30" 30" 30" 30" 30" 30" 30" 5ETS: BRONZE FRONZE SCRONZE SCR	62" 62" 62" 62" 62" 62" 8ECTANGUL SASH LOCK REWS & INS	1 1 1 1 1 AR INSET PULLS	1, 13 1, 13	PT1	PT2 <u>PAI</u> PT1	SASH 8.5" X 12.5") NT COLORS: OFF-WHITI OFF-WHITI CREAM (M	E (MUNSELL 5 E (MUNSELL 5 IUNSELL 5Y 9/	Y 9/1 OR BEN. MOO Y 9/1 OR BEN. MOO 2 OR BEN. MOORE	I DRE OC-94 "WINDSWE DRE OC-87 "CAPRI CO, 191 "MACADAMIA NU"	 PT"); SEMI-GLOS AST"); SATIN GLOSS	S. 988.		Е	VIF	1	PT2
77 33 99 99 99 99 99 99 99 99 99 99 99 99	A5 A5 A5 A5 A5 A5 A5 COMMENT (1) EXIST EXIST. B6 (2) EXIST (3) EXIST	30" 30" 30" 30" 30" 30" 30" SETS: BRONZE FRONZE SERONZE SCRUZE S	62" 62" 62" 62" 62" 62" 62" RECTANGUL SASH LOCK REWS & INS RECTANGUL SASH LOCK	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1, 13 1, 13 NTERIOR STOPS	PT1	PT2 PAI PT1 PT2 PT3	SASH 8.5" X 12.5") NT COLORS: OFF-WHITI OFF-WHITI CREAM (M	E (MUNSELL 5 E (MUNSELL 5 IUNSELL 5Y 9/	Y 9/1 OR BEN. MOO Y 9/1 OR BEN. MOO 2 OR BEN. MOORE	I DRE OC-94 "WINDSWE DRE OC-87 "CAPRI CO,	 PT"); SEMI-GLOS AST"); SATIN GLOSS	S. 988.		E	VIF	1	PT2
W HAE	A5 A5 A5 A5 A5 A5 A5 COMMANDE STATE	30" 30" 30" 30" 30" 30" 30" SETS: BRONZE FRONZE SCRONZE SCRONZ	62" 62" 62" 62" 62" 62" 62" RECTANGUL SASH LOCK REWS & INS RECTANGUL SASH LOCK	1 1 1 AR INSET PULLS ET WASHERS AT I AR INSET PULLS CESSED WASHER	1, 13 1, 13 NTERIOR STOPS	PT1	PT2 PAI PT1 PT2 PT3	SASH 8.5" X 12.5") NT COLORS: OFF-WHITE CREAM (M DARK GRE	E (MUNSELL 5 E (MUNSELL 5 IUNSELL 5Y 9/: EEN (MUNSELL	Y 9/1 OR BEN. MOO Y 9/1 OR BEN. MOO 2 OR BEN. MOORE _ 2.5 BG 2/2 OR BEI	J ORE OC-94 "WINDSWE ORE OC-87 "CAPRI CO, 191 "MACADAMIA NU" N. MOORE "ESSEX GR	 PT"); SEMI-GLOS AST"); SATIN GLOSS	S. 988.					
V HAP	A5 A5 A5 A5 A5 A5 A5 A5 A5 C2) EXIST C3) EXIST EXIST. BF C2) EXIST EXIST. BF C2) EXIST C3) EXIST EXIST. BF C4) EXIST EXIST. BF C5) EXIST C7) EXIST	30" 30" 30" 30" 30" 30" 30" 30" SETS: BRONZE FONZE SCRONZE SCR	62" 62" 62" 62" 62" 62" RECTANGUL SASH LOCK REWS & INS RECTANGUL SASH LOCK REWS & RE- OVAL INSET SASH LOCK	1 1 1 AR INSET PULLS ET WASHERS AT I AR INSET PULLS CESSED WASHER	1, 13 1, 13 NTERIOR STOPS	PT1	PT2 PAI PT1 PT2 PT3	SASH 8.5" X 12.5") NT COLORS: OFF-WHITI OFF-WHITI CREAM (M	E (MUNSELL 5 E (MUNSELL 5 IUNSELL 5Y 9/: EEN (MUNSELL	Y 9/1 OR BEN. MOO Y 9/1 OR BEN. MOO 2 OR BEN. MOORE _ 2.5 BG 2/2 OR BEI	J ORE OC-94 "WINDSWE ORE OC-87 "CAPRI CO, 191 "MACADAMIA NU" N. MOORE "ESSEX GR	 PT"); SEMI-GLOS AST"); SATIN GLOSS	S. 988.			VIF		PT2

WINDOW SCHEDULE (LEFT) SCALE: NTS

- (2) EXIST. BRONZE BUTT-HINGES
- (1) METAL TURN LATCH (1) METAL TOP BOLT
 - (1) METAL BOTTOM BOLT
 - (4) METAL BUTT HINGES W/ BALL FINIALS (3) BRONZE TURN LATCH W/ OVAL BACKPLATE
- (6) BRONZE BUTT-HINGES W/ BALL FINIALS
- (3) BRONZE SLIDING BAR HOLD OPENS (1) BRONZE LATCH
- (2) BRONZE CHAINS & ATTACHMENT HARDWARE

SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL
JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL
Job and this office must be notified of any variations from dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval
BEFORE PROCEEDING WITH FABRICATION.
LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS
LEGAL NOTICE. ALTERATIONS DI ANT FERSON, IN ANT MAI, OF ANT HEM CONTAINED ON THIS POCIMENT INNESS ACTING THINGED THE RIDECTION OF THE INCENSED ADOLITECT MHOSE DEOFFISSIO

CHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BEFORE PROCEEDING WITH FABRICATION.	
EGAL NOTICE: ALTERATIONS BY ANY PERSON, IN OCCUMENT, UNLESS ACTING UNDER THE DIRECTION SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE	OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL

	WINDOW HARDWARE SETS (LEFT) SCALE: NTS
4	SCALE: NTS

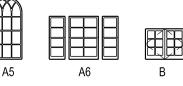
E COMBINATION (CASEMENT, HOPPER, FIXED FAN LITE)

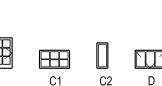
B CASEMENT

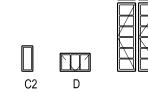
FIXED

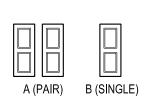
HOPPER

A DOUBLE-HUNG (WITH THE POSSIBLE EXCEPTION OF A5 WHICH MAY BE SINGLE HUNG.



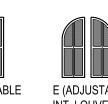


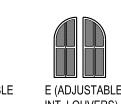












INT. LOUVERS)

1. TEST FOR ACM IN CAULK. ASSUME FOR BIDDING PURPOSES THAT ALL CAULKING IS ACM. 2. ALL GLAZING IS TO BE SALVAGED AND REUSED UNLESS INDICATED OTHERWISE. TYPICAL TREATMENTS FOR ALL TYPE "A" WINDOW FRAMES, SASH, GLAZING, & HARDWARE: • DOCUMENT, REMOVE AND SAVE ALL SASH STOPS FOR LATER REINSTALLATION. REMOVE ALL SASH. • STRIP PAINT OFF EXIST. SASH. PREP & PAINT SASH & FRAME WITH SCHEDULED COLORS. • REPLACE ALL SASH CHORDS ON BOTH UPPER & LOWER SASH. CLEAN & LUBRICATE PULLEYS. CAREFULLY REMOVE ALL GLAZING PUTTY AND PROVIDE NEW GLAZING PUTTY AT ALL LITES. • CAREFULLY REMOVE EXISTING SEALANT & PROVIDE NEW SEALANT BETWEEN BRICK & BRICK MOLD. • REMOVE EXISTING WEATHERSTRIPPING. ROUTE SASH & INSTALL NEW BRUSH WEATHERSTRIPPING AT JAMBS & SILICONE BULB WEATHERSTRIPPING AT HEAD, SILL, & MEETING RAIL. REFER TO DETAILS 6-8/A5.02. REMOVE PAINT FROM ALL GLASS. • REMOVE METAL POSTS & EYES IN EXTERIOR SILLS & WINDOW FRAMES. EPOXY HOLES, SAND, & PREP & PAINT. REMOVE ALL ABANDONED SCREWS OR HARDWARE. FILL HOLES WITH WOOD PUTTY & SAND. • STRIP ALL PAINT FROM HARDWARE. CLEAN, REFINISH, & LACQUER ALL HARDWARE. FINISH TO MATCH PULLS ON WINDOW 109. RESTORE ALL HARDWARE TO MAKE IN LIKE NEW WORKING CONDITION. PROVIDE BRONZE SCREWS WHERE MISSING OR LATER REPLACEMENTS TO MATCH ARCHITECT'S SAMPLE. • REMOVE ALL SCREW, ANGLES, ETC. USED TO SECURE WINDOWS SHUT. PATCH HOLES WITH WOOD PUTTY & SAND. STRAIGHTEN OUT ALL BENT HARDWARE. TYPICAL TREATMENTS FOR ALL TYPE "B" & "E" WINDOW FRAMES, SASH, GLAZING, & HARDWARE: • DOCUMENT, REMOVE AND SAVE ALL SASH STOPS FOR LATER REINSTALLATION. REMOVE ALL SASH. • STRIP PAINT OFF EXIST. SASH. PREP & PAINT SASH & FRAME WITH SCHEDULED COLORS. CAREFULLY REMOVE ALL GLAZING PUTTY AND PROVIDE NEW GLAZING PUTTY AT ALL LITES. • CAREFULLY REMOVE EXISTING SEALANT & PROVIDE NEW SEALANT BETWEEN BRICK & BRICK MOLD. • REMOVE EXISTING WEATHERSTRIPPING. ROUTE FRAME & INSTALL NEW SILICONE BULB WEATHERSTRIPPING AT HEAD, JAMBS, SILL & MEETING RAIL. REFER TO DETAILS 6-8/A5.02. REMOVE PAINT FROM ALL GLASS. • REMOVE METAL POSTS & EYES IN EXTERIOR SILLS & WINDOW FRAMES. EPOXY FILL HOLES & SAND. ALL WOOD SILLS WITH CHECKED & UV DAMAGED WOOD ARE TO BE TREATED WITH EPOXY CONSOLIDANT ONLY IN AREAS WITH SPLITS & CHECKS. • REMOVE ALL ABANDONED SCREWS OR HARDWARE. FILL HOLES & PREP & PAINT. • STRIP ALL PAINT & REMOVE SURFACE CORROSION FROM HARDWARE. CLEAN, PATINA WITH A BRUSHED BRONZE FINISH, & LACQUER LATCH & TOP/BOTTOM BOLTS. PREP & PAINT HINGES. RESTORE ALL HARDWARE TO MAKE IN LIKE NEW WORKING CONDITION. • PROVIDE SCREWS WHERE MISSING OR LATER REPLACEMENTS TO MATCH ARCHITECT'S SAMPLE. • REMOVE ALL SCREW, ANGLES, ETC. USED TO SECURE WINDOWS SHUT. PATCH HOLES WITH WOOD PUTTY & SAND. STRAIGHTEN OUT ALL BENT HARDWARE. TYPICAL TREATMENTS FOR ALL TYPE "C" WINDOW FRAMES, SASH, & GLAZING: PREP & PAINT SASH & FRAME WITH SCHEDULED COLORS. REMOVE PAINT FROM ALL GLASS. TYPICAL TREATMENTS FOR TYPE D WINDOW FRAMES, SASH, GLAZING, & HARDWARE: • STRIP PAINT OFF EXIST. SASH. PREP & PAINT SASH & FRAME WITH SCHEDULED COLORS. • CAREFULLY REMOVE ALL GLAZING PUTTY AND PROVIDE NEW GLAZING PUTTY AT ALL LITES. • CAREFULLY REMOVE EXISTING SEALANT & PROVIDE NEW SEALANT BETWEEN BRICK & BRICK MOLD. • REMOVE EXISTING WEATHERSTRIPPING. ROUTE FRAME & INSTALL NEW SILICONE BULB WEATHERSTRIPPING. REFER TO DETAILS 6-8/A5.02. REMOVE PAINT FROM ALL GLASS. • REMOVE ALL ABANDONED SCREWS OR HARDWARE. FILL HOLES & PREP & PAINT. • STRIP ALL PAINT & REMOVE SURFACE CORROSION FROM HARDWARE. CLEAN, PATINA WITH A BRUSHED BRONZE FINISH, & LACQUER LATCH & TOP/BOTTOM BOLTS. PREP & PAINT HINGES. RESTORE ALL HARDWARE TO MAKE IN LIKE NEW WORKING CONDITION. • PROVIDE SCREWS WHERE MISSING OR LATER REPLACEMENTS TO MATCH ARCHITECT'S SAMPLE. SPECIFIC TREATMENTS FOR WINDOW FRAMES, SASH, & GLAZING: 1. REFER TO TYPICAL TREATMENT NOTES THAT ARE APPLICABLE FOR WINDOW TYPE. 2. PROVIDE NEW GLASS TO MATCH ORIGINAL. QUANTITY & APPROX SIZE INDICATED IN (). 3. PROVIDE NEW WINDOW FRAME & SASH TO MATCH TYPE & SIZE OF THE ORIGINAL. 4. PROVIDE NEW INTERIOR WINDOW STOPS TO MATCH SIZE & PROFILE OF EXISTING. 5. REMOVE ELEMENT. ELEMENT INDICATED IN (). 6. FILL SMALL HOLE WITH WOOD PUTTY & SAND. APPROX QUANTITY INDICATED IN (). 7. PROVIDE WOOD PLUG DUTCHMAN. APPROXIMATE SIZE INDICATED IN (). 8. NOT USED. 9. PROVIDE EPOXY REPAIR AT WOOD SPLIT. 10. PROVIDE NEW BRONZE CURTAIN ROD, HARDWARE, AND WHITE CURTAINS AT LOWER SASH. 11. REPLACE ALL GLASS LITES WITH CLEAR GLASS. 12. PROVIDE WOOD DUTCHMAN. APPROXIMATE SIZE INDICATED IN (). 13. REPAIR LOOSE/DISPLACED JOINERY AT ARCHED TRACERY PORTION AT UPPER SASH. 14. REPLACE WINDOW ELEMENT WITH NEW IN EXACT SIZE, CONFIGURATION, AND PROFILE. ELEMENT INDICATED IN (). SPECIFIC TREATMENTS FOR WINDOW HARDWARE: 1. REFER TO TYPICAL TREATMENT NOTES INDICATED BY WINDOW TYPE. 2. PROVIDE NEW WINDOW HARDWARE TO MATCH EXTANT ORIGINALS OF SAME TYPE. HARDWARE ELEMENT OR SET TYPE INDICATED IN (). 3. REMOVE PULLY HARDWARE. 1. STRIP ALL PAINT COATINGS. PREP & PAINT SCHEDULED PAINT COLOR. 2. PROVIDE EPOXY REPAIRS AT ALL HOLES AND ROTTED AND UV DAMAGED WOOD. 3. REPAIR ALL LOOSE JOINERY WITH WOOD DOWEL REPAIRS OR WOOD DUTCHMAN REPAIRS 4. REPLACE ALL SHEETMETAL FLASHING AT THE TOP EDGE OF SHUTTERS WITH ALUMINUM FLASHING. 5. STRIP PAINT FROM ALL HARDWARE AND MAKE OPERABLE IN LIKE NEW CONDITION. 7. STRIP, PREP, & REFINISH ALL SHUTTER DOGS. RESECURE ALL LOOSE SHUTTER DOGS. **SPECIFIC TREATMENTS FOR SHUTTERS:** 3. PROVIDE NEW SHUTTERS THAT EXACTLY MATCHES DESIGN, DIMENSIONS, CONSTRUCTION DETAILS OF EXISTING, INCLUDING ALL HARDWARE. 4. REASSEMBLE SHUTTER FROM PARTS IN STORAGE. REPLACE ALL MISSING PARTS AND COMPONENTS AS REQUIRED FOR THE SHUTTERS TO BE COMPLETE AND IN LIKE-NEW CONDITION.

TYPICAL TREATMENTS FOR ALL SHUTTERS

6. INSTALL BORATE PLUGS AT THE TOP AND BOTTOM EDGE OF ALL SHUTTERS.

1. REFER TO TYPICAL SHUTTER TREATMENT NOTES.

WIND. SCHEDULE TREATMENTS

2. INSTALL SHUTTERS FROM THOSE IN STORAGE. FIELD FIT SHUTTERS TO CONFIRM THAT THE SHUTTER FITS THE OPENING.

SPECIFIC TREATMENTS FOR SCREENS:

1. PROVIDE NEW SCREENS INCLUDING ALL HARDWARE TO MATCH EXTANT ORIGINALS. REFER TO PHOTO 10/A5.02. PREP & PAINT PT1.



5. REPLACE MISSING DOG WITH NEW CUSTOM REPLICA CASTINGS THAT EXACTLY MATCH THE SIZE, PROFILE, DIMENSIONS, CONSTRUCTION, APPEARANCE AND MATERIALS OF THE EXISTING ORIGINAL.

kaeyer, garment & davidson architects, pc 285 main street mount kisco, new york 10549 p: 914.666.5900 f: 914.666.0051 kgdarchitects.com

1	06/07/19	RC	EK	ISSUED FOR BID			
REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION			
RECORD DRAWING CERTIFICATION							

R	ECORD	DRAWING	CEI
444050	40 110	TEC	

AS BUILT — CHANGES AS NOTED							
AS BUILT - NO CHANGES							
CONTRACTOR							

」	B01E1 140 011/4140E3			
	CONTRACTOR		PROJECT COORDINATOR	
<u> </u>		NAME		
ATURE		SIGNATURE		
	DATE	TITLE	DATE	
		<u> </u>	LCONTRACT SHEET	

SIGNATURE		SIGNATURE		
TITLE	DATE	TITLE	DATE	
	TER COUNTY, ENT OF PUB	NEW YORK LIC WORKS	CONTRACT NUMBER 15-556	SHEET NUMBER A6.01

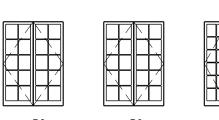
SHEET NO. 29 OF 30 DIVISION OF ENGINEERING MAIN HOUSE REHABILITATION - MERESTEAD DATE: 06/07/19 BEDFORD AND NEW CASTLE, NEW YORK DPW FILE NO.

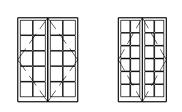
> 92-01-A-56-0 WINDOW SCHEDULE

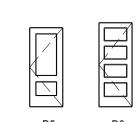
DOOR FRAME									DOOR SCHEDULE THRESHOLD HARDWARE SCREEN/LOUVERED DOOR SHUTTERS																	
DOOR#	SIZE	TYPE	MAT'L	NEW FINISH	TREATMENT*	TYPE	MAT'L	NEW FINISH	TREATMENT*	MAT'L	TREATMENT	TYPE	TREATMENT	EXIST.	PROVIDE NEW (Y/N)*	ТҮРЕ	MAT'L	NEW FINISH			HDW TREATMENT	ON DOOR. (Y/N)	TYPE	SIZE (VIF)	TREATMENTS	MISC. NOTES
013	33" X 77" X 1.75"	D5	WD	PT	4 (TOP & BOT. PANELS)	F5	WD	PT	REFER TO GEN. NOTES	CONC./M TL	3, 4	Н	1, 2, 3	N	N	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	PROVIDE NEW METAL THRESHOLD.
101A	(2) 33" X 126"	D1	WD	PT	REFER TO GEN. NOTES	F1	WD	PT	REFER TO GEN. NOTES	MBL	2	Α	1, 2, 3	Y	N	S1	WD	PT	5 (PT1), 12	В	1, 5 (HINGES-PT1), 7 (DR. LATCH)	NA	NA	NA	NA	
105A	(2) 24" X 84"	D4	WD	PT	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	С	1, 2, 4 (1-HOLD- OPEN; 2-RUBBER PADS ON BOTTOM OF HOLD-OPENS)	N	N	NA	NA	N	NA	NA	NA	N	Е	(2) 24 X 109	1, 2	
105B	(2) 24" X 84"	D4	WD	РТ	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	С	1, 2, 4 (2-RUBBER PADS ON BOTTOM OF HOLD-OPENS)	N	N	NA	NA	NA	NA	NA	NA	N	E	(2) 24 X 109	1, 2	
105C	(2) 24" X 84"	D4	WD	PT	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	С	1, 2, 4 (1-HOLD- OPEN; 2-RUBBER PADS ON BOTTOM OF HOLD-OPENS)	N	N	NA	NA	NA	NA	NA	NA	N	Е	(2) 24 X 109	1, 2	
106B	(2) 24" X 84"	D4	WD	РТ	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	С	1, 2, 4 (2-RUBBER PADS ON BOTTOM OF HOLD-OPENS)	N	N	NA	NA	NA	NA	NA	NA	Y	Е	(2) 24 X 109	1	
106C	(2) 24" X 84"	D4	WD	РТ	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	С	1, 2, 4 (2-RUBBER PADS ON BOTTOM OF HOLD-OPENS)	N	N	NA	NA	NA	NA	NA	NA	Y	Е	(2) 24 X 109	1	
106D	(2) 24" X 84"	D4	WD	РТ	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	С	1, 2, 4 (2-RUBBER PADS ON BOTTOM OF HOLD-OPENS)	N	N	NA	NA	NA	NA	NA	NA	N	E	(2) 24 X 109	1, 2	
106E	(2) 24" X 84"	D4	WD	РТ	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	С	1, 2, 4 (2-RUBBER PADS ON BOTTOM OF HOLD-OPENS)	N	N	NA	NA	NA	NA	NA	NA	N	E	(2) 24 X 109	1, 2	
106F	(2) 24" X 84"	D4	WD	РТ	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	С	1, 2, 4 (2-RUBBER PADS ON BOTTOM OF HOLD-OPENS)	N	N	NA	NA	NA	NA	NA	NA	N	E	(2) 24 X 109	1, 2	
107	(2) 24" X 84"	D2	WD	PT	REFER TO GEN. NOTES	F2	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	D	1	Y	N	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	
108D	(2) 24" X 84"	D4	WD	PT	3 (60")	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	С	1, 2, 4 (2-HOLD OPENS)	N	N	NA	NA	NA	NA	NA	NA	N	Е	(2) 24 X 109	1, 2	
108E	(2) 24" X 84"	D4	WD	PT	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	С	1, 2, 4 (2-HOLD OPENS)	N	N	NA	NA	NA	NA	NA	NA	N	E	(2) 24 X 109	1, 2	
108F	(2) 24" X 84"	D4	WD	PT	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	С	1, 2, 4 (2-HOLD OPENS)	N	N	NA	NA	NA	NA	NA	NA	N	E	(2) 24 X 109	3	
108G	(2) 24" X 84"	D4	WD	РТ	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	С	1, 2, 4 (2-RUBBER PADS ON BOTTOM OF HOLD-OPENS)		N	NA	NA	NA	NA	NA	NA	Y	Е	(2) 24 X 109	1	
108H	(2) 24" X 84"	D4	WD	PT	REFER TO GEN. NOTES	F3	WD	PT	REFER TO GEN. NOTES	WD	5 (TO MATCH EXIST)	С	1, 2, 4 (2-RUBBER PADS ON BOTTOM OF HOLD-OPENS)		N	NA	NA	NA	NA	NA	NA	Y	E	(2) 24 X 109	1	
115A	33" X 84"	D6	WD	PT	REFER TO GEN. NOTES	F4	WD	PT	REFER TO GEN. NOTES	WD	1	E	1, 2, 3	Y	Υ	S2	WD	PT	5 (PT1), 12, 19 (TRIM)	Р	12 (ALL)	NA	NA	NA	NA	
119A	33" X 84"	D9	WD	PT	2	F4	WD	PT	REFER TO GEN. NOTES	WD	1	E	1, 2, 3	N	N	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	LOCK DOOR
210D	(2) 18" X 74"	D11	WD	PT		F4 (SIM)	WD	PT	5 (SILL)	NA	NA	G	1, 2, 1, 2, 6	N	N	S3	WD	PT	5 (PT1), 12	F	1, 2	N	D	(2) 18 X 76	1, 2	
216C	(2) 18" X 74"	D11	WD	PT	3 (6" @ BOT. OF ASTRAGAL)	F4 (SIM)	WD	PT	5 (SILL)	NA	NA	G	(SUPPLEMENTAL LOCK)	N	N	S3	WD	PT	5 (PT1), 12	F	1, 2	N	D	(2) 18 X 76	1, 2	

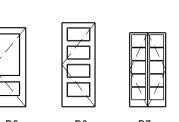
DOOR SCHEDULE

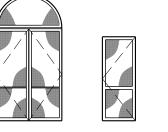
SCALE: NTS

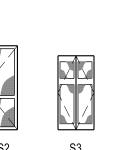


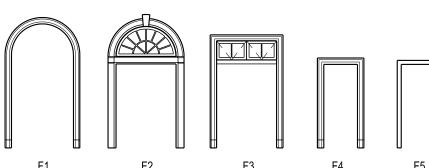




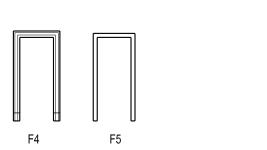


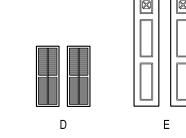






CASING/FRAME TYPES





SCALE: NTS



SCALE: NTS

		EXI	STING FIXTURI	NEW F	IXTURES				
LOCATION/ROOM	TYPE	DESCRIPTION	FINISH (VIF)*	QUANTITY (VIF)	TREATMENT	TYPE	QUANTITY	NOTES	
EXT-EAST ENTRY	L1	BRONZE PENDANT W/ CLEAR GLASS SHADES & CHAIN SUSPENSION	OIL RUBBED BRONZE	1	1, 4	NA	NA	"A" LAMP	
EXT-WEST ENTRY	L3	BRONZE CEILING MOUNTED FIXTURE.	OIL RUBBED BRONZE	1	NA	NA	NA		
EXT-NORTH PORCH	L2	BRONZE CEILING MOUNTED FIXTURE W/ GLASS SHADES.	OIL RUBBED BRONZE	1	1, 4	NA	NA	"A" LAMP	
EXT-SOUTH PORCH	L2	BRONZE CEILING MOUNTED FIXTURE W/ GLASS SHADES.	OIL RUBBED BRONZE	1	1, 2(SHADE TO MATCH THAT ON NORTH PORCH), 7	NA	NA	"A" LAMP	
EXT-SERVANT'S PORCH	L4	PAINTED METAL & FROSTED GLASS SURFACE MOUNTED CEILING FIXTURE.	PT	1	8	TBD	1	PROVIDE \$700 ALLOWANCE FOR NEW EXT. FIXT.	

- 1. GENERAL TREATMENT NOTES APPLY TO ALL LIGHT FIXTURES. TREATMENTS LISTED IN SCHEDULE ARE IN ADDITION TO GENERAL TREATMENTS. CONTRACTOR SHALL REFER TO THE CONSTRUCTION HEALTH AND SAFETY PLAN PREPARED BY AKRF, INC. FOR HANDLING AND DISPOSAL OF PCB AND/OR MERCURY CONTAINING COMPONENTS ASSOCIATED WITH EXISTING LIGHT FIXTURES.
- EXTERIOR LIGHT FIXTURE SCHEDULE



SCALE: NTS



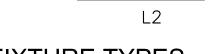








L4



LIGHT FIXTURE TYPES SCALE: NTS

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION. LEGAL NOTICE: ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.

IN CHARGE OF _____

GENERAL TREATMENT NOTES FOR ALL LIGHT FIXTURES: 1. RE-WIRE HISTORIC FIXTURES TO MEET UL REQUIREMENTS WITHOUT ALTERING APPEARANCE.

2. TIGHTEN ALL LOOSE ELEMENTS. 3. STRAIGHTEN ALL BENT/DISPLACED ELEMENTS.

- 4. PROVIDE NEW SCREWS AT ALL LOCATIONS WHERE MISSING. SCREWS TO MATCH EXTANT ORIGINALS ON FIXTURE. VERIFY SCREW TYPE WITH ARCHITECT PRIOR TO
- 5. CLEAN ALL GLASS SHADES 6. RE-LAMP ALL FIXTURES WITH LED LAMPS. LAMP SHAPES TO MATCH EXISTING UNLESS INDICATED OTHERWISE IN NOTES.

SPECIFIC TREATMENT NOTES (REFER TO TREATMENT COLUMN IN SCHEDULE): 1. STRIP LACQUER FINISH, PATINIZE, AND PROVIDE A CLEAR LACQUER FINISH.

- 2. PROVIDE NEW OR SALVAGED FIXTURE ELEMENT. ELEMENT TYPE/PRECEDENT/QUANTITY INDICATED IN ().
- 3. REMOVE WIRE MOLD. PROVIDE METAL DUTCHMAN & IN-PAINT TO MATCH ADJACENT SURFACE. 4. CLEAN GLASS TO REMOVE STAINING.
- 5. CAREFULLY REMOVE OVERPAINT AND TOUCH-UP FINISH.
- 6. REMOVE LIGHT FIXTURE & PROVIDE NEW.

LIGHT FIXTURE TREATMENTS

ABBREVIATIONS CONC CONCRETE MBL MARBLE MTL METAL NOT APPLICABLE PAINT NUMBER RES RESINOUS FINISH ı WD WOOD GENERAL TREATMENT NOTES FOR ALL DOORS/FRAMES: 1. TEST FOR ACM IN CAULK. ASSUME FOR BIDDING PURPOSES THAT ALL CAULKING IS ACM. 2. REMOVE EXIST. WEATHERSTRIPPING. PROVIDE SILICONE BULB WEATHERSTRIPPING AT JAMBS & HEAD, ROUTED INTO FRAME. PROVIDE BRUSH WEATHERSTRIPPING ROUTED INTO BOT. DOOR. 3. FILL ALL HOLES <1/8" WITH WOOD PUTTY & SAND FLUSH TO FACE OF DOOR. 4. ADJUST HARDWARE & RE-HANG ALL DOORS SO TRUE & PLUMB IN OPENING. 5. REMOVE EXIST. PERIM. SEALANT & PROVIDE NEW URETHANE SEALANT. SEALANT COLOR TO BE SELECTED BY ARCHITECT. 6. ALL EXTERIOR SIDES OF DOOR/FRAME ARE TO BE PAINTED PT1: OFF WHITE (MUNSELL 5Y 9/1 CR BEN. MOORE OC-94 "WINDSWEPT"); SEMI-GLOSS. INT. PAINT COLOR TO MATCH EXIST. 7. TYPE D2-4 & D 7 DOORS: CAREFULLY REMOVE & REPLACE 100% OF THE EXTERIOR GLAZING PUTTY. 8. REPAIR ALL SEPARATED JOINERY. 9. ALL GLAZING IS TO BE REUSED UNLESS INDICATED OTHERWISE. SPECIFIC DOOR/SCREEN/FRAME TREATMENT NOTES (IN ADDITION TO GENERAL TREATMENT NOTES): 1. REPLACE SCREEN MESH WITH BRONZE MESH TO MATCH ARCHITECTS SAMPLE. 2. FIX DOOR SHUT. 3. PROVIDE WOOD DUTCHMAN. APPROXIMATE SIZE OF DUTCHMAN INDICATED IN (). 4. PROVIDE NEW DOOR/FRAME ELEMENT. ELEMENT INDICATED IN (). 5. CONSOLIDATE AREA WITH EPOXY RESIN & SAND. ELEMET TO BE CONSOLIDATED INDICATED IN (). THRESHOLD TREATMENTS: 1. REFINISH WITH SCHEDULED FINISH. 2. CLEAN EXISTING MARBLE THRESHOLD. 3. REMOVE EXISTING WOOD BLOCKING AT THRESHOLD. 4. PROVIDE NEW THRESHOLD TO MATCH EXTANT ORIG. ON SAME TYPE OF DOOR AND IN SAME AREA. PROVIDE A RESINOUS FINISH TO MATCH ARCHITECTS SAMPLE UNLESS NOTED OTHERWISE. 5. PREP & PAINT. PAINT COLOR INDICATED IN (). HARDWARE TREATMENTS: 1. INCLUDES THE FOLLOWING TYPICAL TREATMENTS: • CLEAN, LUBRICATE, & ADJUST ALL HARDWARE SO IT OPERATES SMOOTH AND IN LIKE-NEW CCNDITION. STRAIGHTEN ALL BENT HARDWARE.

• PROVIDE NEW SLOTTED SCREWS WHERE MISSING THAT MATCH THE MATERIAL, FINISH, AND DESIGN OF THE ORIGINALS. 2. STRIP PAINT/EXISTING FINISH OF HARDWARE, CLEAN, REFINISH, & LACQUER. ASSUME ALL UNLESS SPECIFIC ELEMENT CALLED OUT IN ().

4. PROVIDE NEW OR SALVAGED HARDWARE ELEMENT TO MATCH EXTANT ORIGINALS OF SAME TYPE. ELEMENT INDICATED IN ().

5. PREP, INCLUDING REMOVING ALL SURFACE CORROSION, & PAINT HARDWARE ELEMENT. ELEMENT & PAINT COLOR INDICATED IN (). 6. REMOVE HARDWARE ELEMENT, FILL HOLES IN DOOR, & IN-PAINT TO MATCH SCHEDULED RESINOUS FINISH. HARDWARE ELEMENT INDICATED IN ().

PT1 OFF-WHITE (MUNSELL 5Y 9/1 OR BEN. MOORE OC-94 "WINDSWEPT"); SEMI-GLOSS

SPECIFIC TREATMENTS FOR SHUTTERS 1. STRIP ALL PAINT COATINGS; PROVIDE EPOXY REPAIRS AT ALL HOLES, ROTTED AND UV DAMAGED WOOD; REPAIR ALL LOOSE JOINEREY WITH WOOD DOWEL REPAIRS OR WOOD DUTCHMAN REPAIRS; REMOVE ALL SUPPLEMENTAL METAL PLATE REINFORCING AT CORNERS; REPLACE ALL SHEETMETAL

FLASHING AT THE TOP EDGE OF SHUTTERS WITH ALUMINUM FLASHING, STRIP PAINT FROM ALL HARDWARE AND MAKE OPPERABLE IN LIKE NEW CONDITION; INSTALL BORATE PLUGS AT THE TOP AND BOTTOM EDGE OF ALL SHUTTERS; PREPARE AND PAINT ALL WOOD SURFACES.

2. INSTALL SHUTTERS FROM THOSE IN STORAGE. FIELD FIT SHUTTERS TO CONFIRM THAT THE SHUTTER FITS THE OPENING. 3. PROVIDE NEW SHUTTERS THAT EXACTLY MATCHES DESIGN, DIMENSIONS, CONSTRUCTION DETAILS OF EXISTING, INCLUDING ALL HARDWARE.

HARDWARE TYPES (EXCLUDES WALL/FLOOR MOUNTED DOORSTOPS; ASSUME EXISTING UNLESS NOTED OTHERWISE):

(2) BRONZE MORTISE LOCKSETS W/ SINGLE CYLINDER DEADBOLTS.

(6) BRONZE BUTT HINGES WITH BALL FINIALS. (1) BRONZE HEAD BOLT ON DOOR EDGE

(1) BRONZE FOOT BOLT ON DOOR EDGE (1) BRONZE DOOR STOP ATTACHED TO DOOR

(2) PAINTED WOOD DOOR STOPS ON WALL

(1) METAL PULL (EXT)/TURN LATCH (INT) (4) METAL BUTT HINGES

(1) BRONZE LOCKSET WITH OVAL KNOB(INT)/LEVER HANDLE (EXT), RECTANGULAR ESCUTCHEON, AND PRIVACY LATCH. (6) BRONZE BUTT HINGES WITH BALL FINIALS.

(1) BRONZE HEAD BOLT ON DOOR EDGE

(1) BRONZE FOOT BOLT ON DOOR EDGE (2) BRONZE FOOT ACTIVATED HOLD-OPENS.

(1) BRONZE LATCH AT TRANSOM

(2) LIMITING CHAINS & MOUNTING BRACKETS AT TRANSOM (2) BRONZE LOCKSETS WITH LEVER HANDLES, ROUND ESCUTCHEON PLATES, & KEYPLATES.

(6) BRONZE BUTT HINGES WITH BALL FINIALS.

(2) BRONZE FOOT ACTIVATED HOLD-OPENS.

(1) BRONZE PULL W/ LATCH

(1) SINGLE CYLINDER DEADBOLT WITH HEARTSHAPED ESCUTCHEON PLATE

(2) BRONZE BUTT HINGES WITH BALL FINIALS (1) BRONZE PULL (EXT)/TURN LATCH (INT)

(2) METAL BUTT HINGES (2) LOCKSET WITH BRONZE OVAL KNOBS & TURN LATCH

(4) BRONZE BUTT HINGES WITH BALL FINIALS (2) BRONZE SLIDING BAR HOLD-OPENS

(1) BRONZE HEAD BOLT ON DOOR EDGE (1) BRONZE FOOT BOLT ON DOOR EDGE

EXIST. MORTISE LOCKSET

EXIST. (2) BRONZE BUTT HINGES WITH BALL FINIALS EXIST. BRONZE TURN LATCH.

EXIST. DEADBOLT.







1	06/07/19	RC	EK	ISSUED FOR BID					
REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION					
RECORD DRAWING CERTIFICATION									
AS	AS BUILT - CHANGES AS NOTED								

AS AS	BUILT - NO CHANGES			
NAME	CONTRACTOR	NAME	PROJECT	COORDINA
SIGNATURE		SIGNATURE		

DATE _ TITLE NUMBER NUMBER

WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING SHEET NO. 30 OF 30

MAIN HOUSE REHABILITATION - MERESTEAD BEDFORD AND NEW CASTLE, NEW YORK

DOOR & LIGHT FIXTURE SCHEDULE

SCALE: AS SHOWN DATE: 06/07/19 DPW FILE NO. 92-01-A-57-0

15-556

A6.02